

DESIGN CRITERIA



A DEVELOPMENT BY THE CITY OF
VIRGINIA BEACH DEVELOPMENT AUTHORITY

**CORPORATE LANDING
VIRGINIA BEACH, VIRGINIA**

**VIRGINIA BEACH DEVELOPMENT AUTHORITY
VIRGINIA BEACH, VIRGINIA**

DESIGN CRITERIA

September 26, 1990

**INCLUDING DESIGN CRITERIA ADDENDUM #2
AUGUST 18, 1998**

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INTRODUCTION

Corporate Landing (the Park) is a planned multi-facted business park encompassing approximately 372 acres of land. The park is strategically located between the proposed alignment of the Southeastern Expressway and General Booth Boulevard. This planned environment offers properties for the development of Corporate Headquarters, Professional Services, Research and Development, High-Tech Facilities, Office Distribution Buildings, Retail, as well as 2 Hotel sites.

The office park contains approximately 38 acres of lakes and when completed will include jogging trails, plazas and a variety of outdoor green spaces.

Corporate Landing will be developed and maintained with an attractive "park-like" setting with high quality buildings integrated into a natural landscaped environment. It is the intent of the Virginia Beach Development Authority (VBDA) to encourage the construction of attractive quality environs throughout the park. It is for this reason that the Design Criteria herein are established to complement the various other covenants which the VBDA presently has in place.

ARTICLE 1: THE PARK

1.01 MASTER PLAN

- A. Plan Concept: Corporate Landing, shown on (Exhibits A, B and C), has been developed to illustrate the intent to develop a unified concept without imposing undue restrictions upon the development of individual sites within the park. This Master Plan, in addition to the layout of the sites, shall incorporate exterior lighting, signage, and landscaping criteria for each of the individual sites.
- B. It is for this reason that the design criteria herein are established for site density, building materials, landscaping, signage, site furniture and site lighting to insure the fruition of a unified, qualitative park environment. The design criteria and master plan have been created by and are subject to modification and revision by the Virginia Beach Development Authority.

1.02 LAND USES

- A. Land uses within the park have been established for the various building types which will be housed in the park, see (Exhibit C). The following is a description of these districts. Each site developer shall be responsible for compliance with the requirements of the approved rezoning application.

1. LDO DISTRICT (LOW DENSITY OFFICE USE): This classification refers to the development of one and two story office buildings with a maximum building height of 35 feet.

USE

- a. Business, medical, financial, nonprofit, professional and similar office buildings.
- b. Lithographic and publishing establishments.
- c. Public buildings and grounds.
- d. Vocational, technical, industrial, and trade schools.
- e. Motion picture studios.
- f. Accessory uses and structures which may be reviewed and approved by the City of Virginia Beach Zoning Administrator which are clearly incidental and subordinate to principal uses in accordance with the Virginia Beach City Zoning Ordinance.

2. MDO DISTRICT (MEDIUM DENSITY OFFICE USE):
This classification refers to the development of mid-rise office buildings with a maximum building height not to exceed a height equal to twice the distance from the building to the vertical projection of the center line of the nearest public street; however, no building shall exceed 100' in height, and no building within 300' of the right-of-way of General Booth Boulevard shall exceed 40' in height.

USE

- a. Business, medical, financial, nonprofit, professional, and similar office buildings.
- b. Eating and drinking establishments in connection with other permitted uses (no free-standing restaurant sites).
- c. Motion picture studios.
- d. Printing, lithographic or publishing establishments.
- e. Recreational facilities of an outdoor nature in accordance with the Virginia Beach City Zoning Ordinance.
- f. Vocational, industrial and trade schools.
- g. Recreational facilities other than those of an outdoor nature.
- h. Public and private schools, colleges and universities.
- i. Accessory uses and structures which may be reviewed and approved by the City of Virginia Beach Zoning Administrator which are clearly incidental and subordinate to principal uses in accordance with the Virginia Beach City Zoning Ordinance.

3. R&D (RESEARCH AND DEVELOPMENT/OFFICE WAREHOUSE DISTRICT): This classification refers to the development of one and two story office/warehouse buildings with a maximum building height of 35 feet.

USE

- a. Business, medical, financial, nonprofit, professional and similar office buildings in conjunction with an office/warehouse environment.
- b. Establishments such as linen suppliers, communication services and canteen services.
- c. Light assembly, processing, extracting, packaging or fabricating establishments.
- d. Motion picture studios.
- e. Printing lithographic or publishing establishments.
- f. Public utilities installations and substations including offices.
- g. Radio or television transmission and relay stations.
- h. Wholesaling, warehousing, storage or distribution establishments.
- i. Eating and drinking establishments in connection with other permitted uses (no free-standing restaurant sites).
- j. Accessory uses and structures which may be reviewed and approved by the City of Virginia Beach Zoning Administrator which are clearly incidental and subordinate to principal uses in accordance with the Virginia Beach City Zoning Ordinance.

4. MXD DISTRICT (MIXED USE DEVELOPMENT): This classification refers to the development of a mixed use complex that would provide retail shops, a hotel, restaurants, office space, sports and recreation centers with a maximum building height not to exceed a height equal to twice the distance from the building to the vertical projection of the center line of the nearest public street.

USE

- a. Automotive rental, parts and supply stores in connection with other permitted uses.
- b. Business, medical, financial, nonprofit, professional and similar office buildings.
- c. Eating and drinking establishments.
- d. Establishments such as linen suppliers, communication services, and canteen services.
- e. Hotels.
- f. Printing, lithographic or publishing establishments.
- g. Recreational facilities of an outdoor nature.
- h. Recreational facilities other than those of an outdoor nature.
- i. Accessory uses and structures which may be reviewed and approved by the City of Virginia Beach Zoning Administrator which are clearly incidental and subordinate to principal uses in accordance with the Virginia Beach City Zoning Ordinance.

5. MXD2 DISTRICT (MIXED USE DEVELOPMENT): This classification refers to the development of a mixed use complex that would provide retail shops, restaurants, office space and similar uses with a maximum building height of 35 feet.
- a. Automobile service stations or repair facilities that perform the same functions as cited in Sub-Section 111 of the Virginia Beach Zoning Ordinance.
 - b. Bakeries, confectioneries and delicatessens, provided that products prepared or processed on the premises shall be sold at retail and only on the premises.
 - c. Business studios, offices and clinics.
 - d. Car wash facilities, provided that: (i) no water produced by activities on the zoning lot shall be permitted to fall upon or drain across public streets or sidewalks or adjacent properties; (ii) a minimum of three (3) off-street parking spaces for automobiles shall be provided for each car wash space within the facility.
 - e. Child care and child education centers.
 - f. Drugstores, beauty shops and barbershops.
 - g. Eating and drinking establishments without drive-through windows.
 - h. Financial institutions.
 - i. Florists, gift shops and stationery stores.
 - j. Service and repair services for business machines, sign shops and other small service businesses.
 - k. Grocery stores, carry-out food stores and convenience stores any of which are not freestanding but are in a structure with a gross floor area of less than five thousand (5,000) square feet.

- l. Laboratories and establishments for the production and repair of eye glasses, hearing aids and prosthetic devices.
- m. Laundry and dry cleaning agencies.
- n. Medical and dental offices.
- o. Museums and art galleries.
- p. Job and commercial printing.
- q. Personal service establishments, other than those listed separately.
- r. Athletic clubs.
- s. Public utilities installations and substations, including offices.
- t. Repair and sales for radio and television and other household appliances, except where such establishments exceed two thousand five hundred (2,500) feet of floor area.
- u. Retail establishments, other than those listed separately, including the incidental manufacturing of goods for sale only at retail on premises; retail sales and display rooms.
- v. Veterinary establishments and commercial kennels, provided that all animals shall be kept in soundproofed, air-conditioned buildings.
- w. Accessory uses and structures which may be reviewed and approved by City of Virginia Beach Zoning Administrator which are clearly incidental and subordinate to principal uses in accordance with the Virginia Beach City Zoning Ordinance.

A. Notwithstanding the above, no building or other structure shall exceed the height limits established by the Virginia Beach City Zoning Ordinance regarding air navigation.

- B. The Virginia Beach Development Authority (VBDA), maintains the right of approval of the property's use. The VBDA with the concurrence of the Virginia Beach City Council maintains the right to alter or adjust the boundaries of the land use districts.

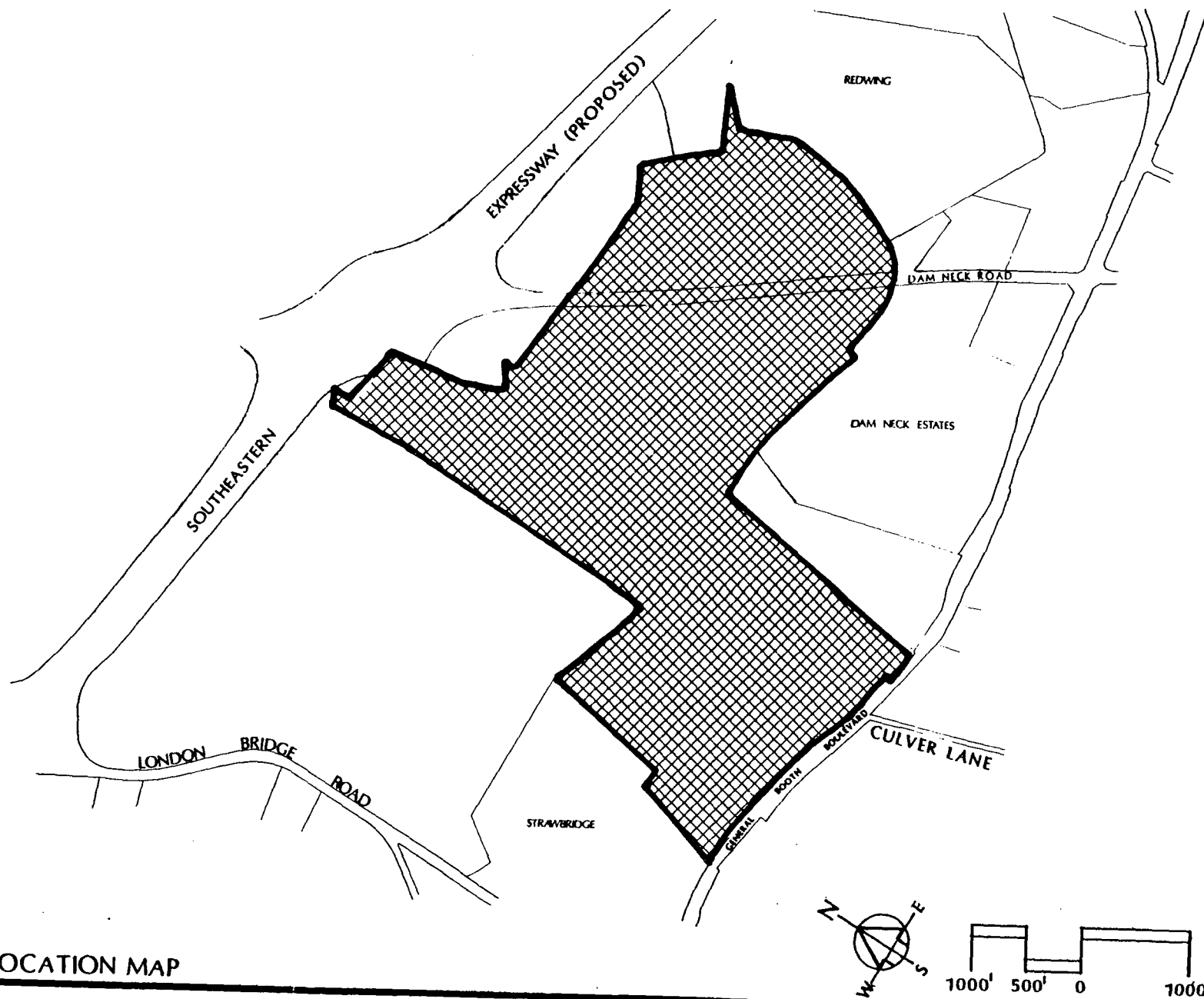
1.03 IMPROVEMENTS PROVIDED BY DEVELOPER

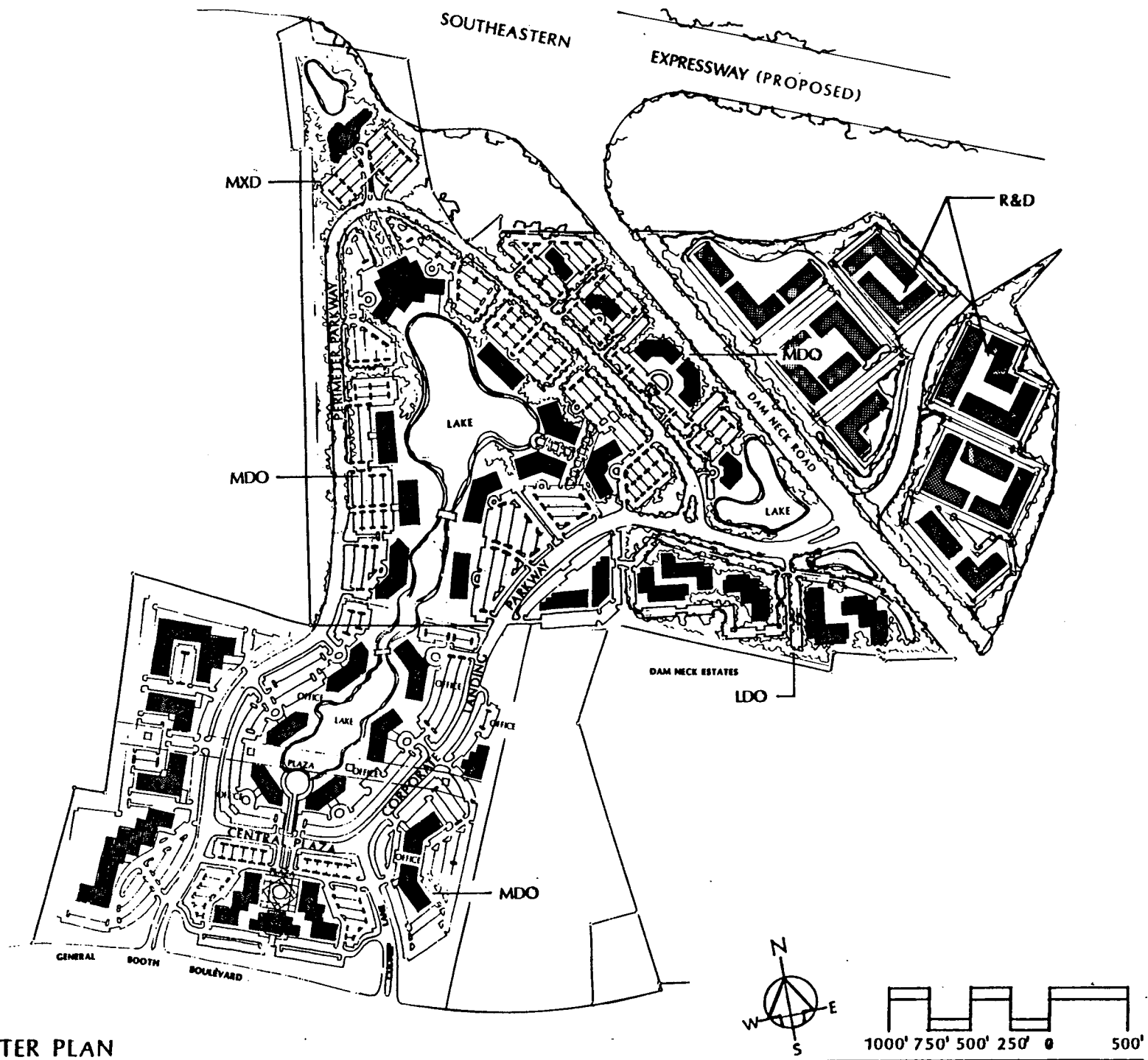
The following site improvements will be provided as shown on drawings available from Virginia Beach Development Authority:

- A. Roadways: Estates Drive, Culver Lane and Corporate Landing Drive.
- B. Utilities: Water, electricity, sanitary sewer and telephone shall be provided to within the right of way of the three roads listed in A above or within an easement adjacent to the right of way. Connections to these major lines will be the responsibility of the site purchaser.
- C. Signs: Park entrance signs shall be freestanding and will be located at the intersections of the main entrances into the park. Directional and traffic signs will be provided as required. See Sign Exhibits for example of park signs.
- D. Landscaping: Landscaping of the common areas at the park's entrances with irrigation will be provided.
- E. The Development Authority will provide in the 75 foot setbacks adjacent to the existing residential neighborhoods of Red Wing, Dam Neck Estates, and Strawbridge, a rolling earthen berm (minimum height four (4) feet up to approximately ten (10) feet) with appropriate evergreen plantings to provide a buffer between the park and adjacent residential neighborhoods. Where the park abutts property not currently developed for residential use, the Development Authority will reserve a 75 foot strip of land for the future placement of a berm with evergreen plantings, should said adjacent property be developed into residential neighborhoods, see (Exhibit K). Property owners within the park

shall be responsible for maintaining the berm along their entire length of property. Maintenance shall consist of weeding, fertilizing and watering of all trees, shrubs and lawn area to maintain healthy plant life. In addition all lawn areas shall be maintained at 2 1/2" in height and cut when lawn areas reach 4" in height.

A LOCATION MAP










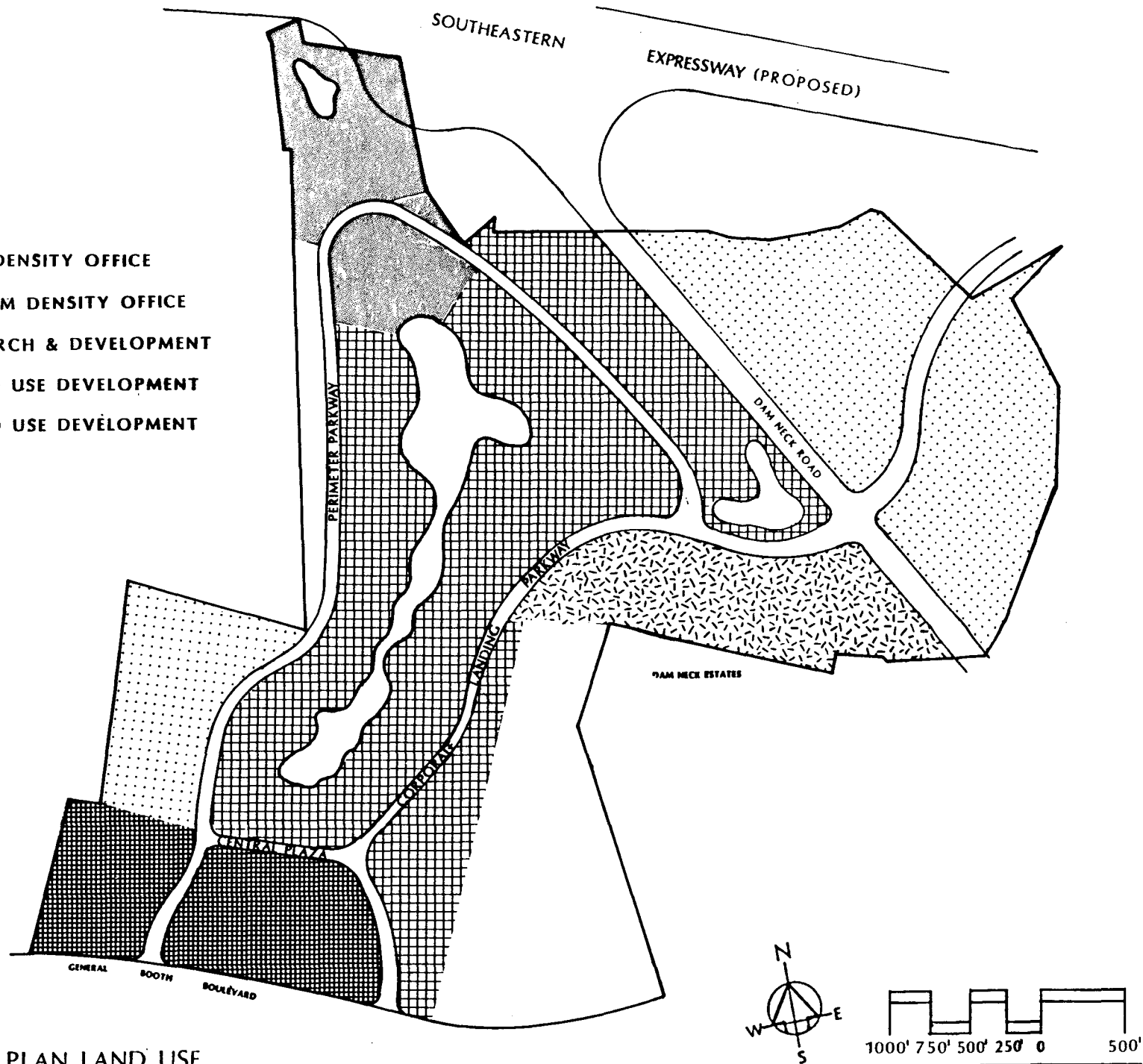
B

MASTER PLAN

NOTE: THE ABOVE PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.

LEGEND

-  LDO LOW DENSITY OFFICE
-  MDO MEDIUM DENSITY OFFICE
-  R&D RESEARCH & DEVELOPMENT
-  MXD MIXED USE DEVELOPMENT
-  MXD2 MIXED USE DEVELOPMENT



C MASTER PLAN LAND USE

ARTICLE II: THE SITE PLAN

2.01 APPLICABLE CODES

- A. Development of all property within Corporate Landing is governed by the requirements and restrictions of the recorded Zoning Proffers of the VBDA as well as the various ordinances and laws of the agencies of the City of Virginia Beach and the State of Virginia. It is the responsibility of the individual site developer to verify and conform with all requirements of governing agencies and obtain and maintain all necessary permits during the development of the property.

2.02 SITE COVERAGE RATIO AND BUILDING SETBACKS

- A. The following chart lists the building requirements within the various classifications for minimum lot area, width, yard spacing, floor area ratio, and coverage:

| | <u>R&D</u> | <u>LDO</u> | <u>MDO</u> | <u>MXD</u> | <u>MXD2</u> |
|---|----------------|------------|------------|------------|-------------|
| Minimum Lot Area Ac | 3.5 Ac | 2.0 Ac | 3.5 Ac | 3.5 Ac | 1.0 |
| Minimum Lot Width | 100' | 100' | 100' | 100' | 100' |
| Minimum Yard Setback Dam Neck Road | 100' | 100' | 100' | ---- | ---- |
| Minimum Yard Setback General Booth Boulevard | ---- | ---- | 75' | ---- | 75' |

| | <u>R&D</u> | <u>LDO</u> | <u>MDO</u> | <u>MXD</u> | <u>MXD2</u> |
|---|----------------|------------|------------|------------|-------------|
| Minimum Yard Setback Corporate Landing Parkway | 75' | 75' | 75 | ---- | 75' |
| Minimum Yard Setback Adjacent to Other Public/Private Streets | 50' | 50' | 50' | 50' | 50' |
| Minimum Yard Setback Adjacent to Residential Neighborhoods | 75' | 75' | 75' | 75' | 75' |
| Minimum Yard Setback Adjacent to Side Property Property Lines | 30' | 30' | 30' | 30' | 30' |
| Minimum Yard Setback Adjacent to Rear Property Lines | 30' | 30' | 30' | 30' | 30' |
| Maximum Floor Area Ratio ¹ | .50 | .50 | .90 | .90 | .90 |
| Maximum Building and Paved Area Coverage | 75% | 60% | 60% | 65% | 75% |

1. Floor Area Ratio: The ratio of floor area to land area expressed as a percent or decimal which shall be determined by dividing the total floor area on a zoning lot by the lot area of that zoning lot.

2.03 BUILDING ORIENTATION

- A. Buildings to be constructed at Corporate Landing shall be sited in general accordance with the master plan and as approved by the VBDA. Primary building axis shall be as directed by the VBDA.

2.04 SITE GRADING AND DRAINAGE

- A. The site grading of each individual building site in Corporate Landing shall be done in a manner complimentary and compatible with the adjacent sites and with the overall land plan. All site grading shall be approved by the VBDA. All site grading shall have a minimum 1% positive drainage.
- B. No slopes in the Park shall exceed 3 to 1 unless approved by VBDA.
- C. All paved areas shall have a minimum 1% slope (1:100).
- D. All grading plans shall indicate locations of any large existing trees (6" caliper and larger) and tree masses.
- E. The utilization of best land management practices and the stormwater management ordinance shall be incorporated into the master drainage plan for Corporate Landing and each individual site drainage plans.
- F. Drainage easements shall be dedicated to the City of Virginia Beach as required by the Corporate Landing master drainage plan and individual site development.
- G. Erosion and Sediment control for all site development shall be in accordance with the specifications outlined in the Virginia Erosion and Sediment Control Handbook.

2.05 CURB CUTS AND INTERNAL DRIVES

A. Curb Cuts:

1. Curb cuts shall be as shown on (Exhibit B). Any variations shall be as approved by the VBDA.
2. Curb Cuts for 2-way drives may not exceed 36 feet in width.
3. Curb cuts for one way drives with an island in the center shall be as follows:
 - a. The drive exiting shall not exceed a total of 24 feet in width for both the left and right turn lanes.
 - b. The drive entering shall not exceed 15 feet in width.
 - c. The island in the center shall be 15 feet wide.

2.06 PARKING LOT SETBACKS

- A. The following chart lists the minimum parking lot setback requirements within the various classifications of the property.

| | <u>R&D</u> | <u>LDO</u> | <u>MDO</u> | <u>MXD</u> | <u>MXD2</u> |
|---|------------------------|------------|------------|------------|-------------|
| Minimum Yard Setback Adjacent to Dam Neck Road | 75' | 75' | 75' | ---- | ---- |
| Minimum Yard Setback General Booth Boulevard | ---- | ---- | 75' | ---- | 75' |
| Minimum Yard Setback Corporate Landing Parkway | 40' ¹ | 50' | 50' | ---- | 50' |
| Minimum Yard Setback Adjacent to Other Public Streets | 40' & 50' ¹ | 50' | 50' | 50' | 50' |

| | <u>R&D</u> | <u>LDO</u> | <u>MDO</u> | <u>MXD</u> | <u>MXD2</u> |
|---|----------------|------------|------------|------------|-------------|
| Minimum Yard Setback Adjacent to Private Streets (excluding access drives and Parking Lot Drive Aisles | 25' | 25' | 25' | 25' | 25' |
| Minimum Yard Setback Adjacent to Residential Neighborhoods | 75' | 75' | 75' | 75' | 75' |
| Minimum Yard Setback Side Property Line | 15'2 | 15'2 | 15'2 | 15'2 | 15'2 |
| Minimum Yard Setback Rear Property Line | 15' | 15' | 15' | 15' | 15' |
| Minimum Yard Setback Between Parking Lots and Buildings (excluding Sidewalks) | 20' | 20' | 20' | 20' | 0' |

1. 40' North of Dam Neck Road
2. Excluding Common Drive Aisles Between Parcels.

2.07 PARKING LOT SCREENING

- A. The developer of the individual sites shall provide a continuous evergreen and/or low berm screen along any side of a parking lot that abutts a public street right-of-way. Such buffering shall be located with the parking lot setbacks established by Item 2.06, see (Exhibit G).
- B. The developer of any site that abutts a storm water retention lake or canal with a parking lot shall provide a continuous landscape buffer 4' to 5' in height at installation, with a minimum width of 15 feet. This buffer shall be planted with a mixture of deciduous trees and evergreen trees and shrubs with 90% of the planting being evergreen, see (Exhibit G).

2.08 PARKING REQUIREMENTS

- A. The following minimum general requirements are applicable to all use classifications located within the property:
 - 1. One parking space for each 250 square feet of gross floor area used for offices.
 - 2. One parking space for each 500 square feet of gross floor area for research and development or one space per employee on the highest working shift, whichever is greater.
 - 3. One parking space for each 200 square feet of gross floor area for commercial/retail.
 - 4. One and one-half parking spaces per hotel room.
 - 5. As required by the City of Virginia Beach City Zoning Ordinance for other uses permitted within the property.
 - 6. The size of parking stalls and handicapped allowance shall be as required by the City of Virginia Beach City Zoning Ordinance.

7. The width of parking lot drive aisles shall be a minimum of 24 feet.
8. The color of parking lot striping shall be white. Special striping shall be as required by the City of Virginia Beach.
9. The requirements indicated above shall not relieve the site owner or lessor of the responsibility of providing ample on-site parking for actual user demands. Parking on access roads and dedicated streets shall be prohibited.

2.09 LOADING AREAS

- A. Loading areas shall be designed and located so that they are not visible from public roadway view, adjacent residential neighborhood view, and view within the park. The uses of berming and landscape screening shall be employed to screen loading areas, see (Exhibit I).
- B. Location of any loading areas shall be subject to the VBDA approval.

2.10 EXTERIOR STORAGE

- A. Exterior storage will not be permitted.

2.11 FENCING

- A. The use of fencing on any site, other than for required screening of trash or equipment, is not permitted.

- B. Material for screening dumpsters shall be constructed of brick or similar masonry items to match building. Design is to be consistent with and complementary to the building on the site, see (Exhibit J).
- C. Screen walls shall not exceed eight (8) feet in height unless approved or directed by the VBDA.
- D. Prior to construction, all screen walls will require VBDA approval for material, construction, location, color and overall impact.

2.12 REFUSE FACILITIES

- A. Trash and garbage facilities shall be located and screened so as not to be visible from any street or right-of-way, adjoining residential neighborhoods and from any of the lake or canal areas. Screen walls shall be constructed of materials similar to building materials while gates shall be black vinyl coated chain link fence with black vinyl slats. (See paragraph 2.11 - FENCING). A heavier pavement design section along the collection route shall be provided, see (Exhibit J).

2.13 UTILITIES

- A. All utility connections, including all electrical and telephone connections and installations of wires to buildings shall be made underground from the nearest available power source. During installation there shall be no open cuts in any street at any time. No electric meter, gas meter or other meters of any type or other apparatus shall be located on any power pole nor hung on the outside of any building, but shall be placed at grade or within the building served.

- B. Transformer or similar above ground equipment shall be placed in the most inconspicuous location possible. Where placed at grade, the equipment shall be adequately screened and all such installation shall be subject to prior written approval of the VBDA. Exterior mounted utility equipment shall be painted to match color scheme of the building, see (Exhibit I).

2.14 TEMPORARY FACILITIES

- A. Temporary facilities other than construction related facilities shall not be permitted. Construction facilities shall not be permitted within the front yards and when located in rear yards shall be removed immediately upon completion of the permanent facility.
- B. During construction a construction entrance installed in accordance with the specifications in the Virginia Erosion and Sediment Control Handbook shall be provided to prevent dirt and mud from being tracked out onto the street. If dirt, mud, etc. are tracked onto the public street, the site owner shall have it cleaned within 24 hours or VBDA will have it cleaned and charge the site owner for the service.

2.15 JOGGING TRAILS

- A. Each developer or owner of a site shall construct all jogging trails that pass through their property or properties, see (Exhibit B) for location and (Exhibit F) for construction.

ARTICLE III THE LANDSCAPE

3.01 LANDSCAPING

- A. Corporate Landing is intended to have a park setting with a strong emphasis on the landscaped environment. This emphasis will provide an overall visual continuity throughout the park and will serve as a backdrop for the development of each individual site. During the individual site development stage, the landscape architect shall give careful consideration & analysis to respond to surrounding site components such as site context, open space, landmarks, views and vistas, streetscapes and the protection of existing vegetation. In addition, the utilization of the provided list of plant materials into planting schedules, the incorporation of the General Requirements as described herein for new planting into drawings and specifications and the implementation of design criteria as illustrated in the enclosed exhibits shall be required.
- B. Protection of Existing Vegetation: Site developer, through sensitive grading and drainage plans, shall save stands of natural vegetation 15' outside of all proposed building walls and 5' outside of all paved areas. The building developer shall identify, "flag", and barricade up to the tree dripline such stands prior to site clearing or grading operations. Storage of materials or equipment shall not be allowed within these barriers during construction and barriers shall not be removed until finish grading of sites has been completed. All City of Virginia Beach and State of Virginia tree protection notes are applicable and shall be enforced.

C. General requirements of new plantings:

1. All shade trees along pedestrian walkways shall have a minimum branch hang height of 6'-8".
2. Where shrubs or groundcovers are used, "massing" is required unless otherwise approved. Extensive varieties of plants within one planting bed is discouraged.
3. Sod rather than seeding is required within 50' of all buildings and along all adjacent roadways which the property lines front. Minimum width of sod along roadways shall be 15' if applicable.
4. Flowering trees shall have a minimum caliper of 1 1/2"-2".
5. Shade trees shall have a minimum caliper of 3 1/2"-4" except for shade trees in parking lots which shall have a minimum caliper of 2 1/2" - 3".
6. Within the parking field and in adjacent curbed planting areas, there shall be one shade tree per 10 parking spaces with a minimum ground area of 8' x 17' surrounding the tree.
7. Continuous evergreen screening shall be required along any side of a parking lot that abutts the right-of-way of any street, lake or canal. Minimum height of plant screen along the right of way of any street shall be 30", planted 3' o.c.; where parking lots are visable from lakes or canals the plant screen shall be 4' to 5' in height, planted 3' o.c. Berming may be substituted and shall be a minimum height of 3'.
8. The attached plant list shall dictate varieties to be used unless otherwise allowed by the VBDA see (Exhibit D).
9. All building entry drives shall be well landscaped with a combination of evergreen shrubs and flowering shrubs or flower beds, see (Exhibit L).

10. All site utilities such as heat pumps, transformers, etc. shall be screened with an evergreen shrub with spacing not to exceed 3' o.c. Height of shrub at installation shall be a minimum height of 4' to 5', see (Exhibit I).
11. All visible loading docks or loading areas that abut property lines or street right of ways shall be screened with evergreen shrubs or evergreen trees. Minimum height of shrubs at installation shall be 36" with spacing not to exceed 3' o.c., minimum height of evergreen trees shall be 4'-5' in height with spacing not to exceed 8' o.c., see (Exhibit I).
12. For all office buildings a minimum budget of \$2.00 (1990 dollars) per square foot of building is required for lawn, planting and irrigation. Each year following, the budget shall be increased 5% per year. The contractor shall submit a landscape cost estimate to the VBDA with the submittal of the construction documents.
13. All planting bed areas shall be covered with a 2" layer of shredded hardwood mulch.
14. All plant material, topsoil, mulch, fertilizers, etc. shall be subject to VBDA approval. Rejected materials shall be removed from the site without delay.
15. Location of underground utilities shall be determined prior to start of work to avoid damaging.
16. All planting operations shall be under the supervision of an experienced plantsman.
17. All landscape planting plans shall be prepared and sealed by a landscape architect certified to practice as such in the Commonwealth of Virginia.
18. All plants shall be nursery grown & shall be in accordance with the most recent edition of the "American Standard for Nursery Stock." Spaded trees may be accepted if approved by the VBDA.
19. All entry drives into each building site shall be landscaped, see (Exhibit L).

20. Street trees(3 1/2" - 4" caliper, 14' to 16' in height) shall be placed along all roadways, within the right of way, which properties abut or adjoin. One tree shall be provided for every 35' of property line that adjoins or abutts the roadway. Existing street trees, 75' off the property line, in both directions, if applicable, shall be located and shown on all landscape planting plans. The spacing of all new required street trees shall tie into existing trees maintaining a maximum spacing of 35' on center. See streetscape plan which shall be provided by the VBDA.
21. In addition to the above requirements all landscaping shall comply with the City of Virginia Beach Landscape Ordinance. Any discrepancy between the Design Criteria requirements and the City of Virginia Beach Landscape Ordinance, the more stringent requirements shall govern.

3.02 IRRIGATION

- A. Each site developed shall have an automatic irrigation system to irrigate all new trees, shrubs, seeded areas & sodded areas up to the property line and to any road edges which they adjoin or front. The irrigation system shall be designed to provide the proper water requirements to maintain healthy plant life. Lawn areas and shrub beds shall be on separate zones.

3.03 SITE LIGHTING

- A. The intent is to create a uniform lighting system for the exterior lighting of the park, and shall be the fixture type shown in (Exhibit M). Therefore, the following requirements have been established:
 1. Parking light fixtures shall be a maximum height of 30', see (Exhibit M).
 2. Low bollard fixtures or landscape lighting is recommended for walks and building entries, see (Exhibit M).

3. Building mounted floods will not be permitted, except in completely internalized service courts for the research and development (R&D) areas. In each case where this is applicable the user shall obtain approval from the VBDA at the construction document approval stage.
4. Lighting in parking lots, walkways, signage and on all buildings shall be "cool white" mercury vapor lamps. Lighting in all public right-of-ways shall be high pressure sodium.
5. Lighting levels will be determined by the recognized standard of the lighting industry, as specified in the "Lighting Handbook of the Illuminating Engineering Society". Lighting levels in parking lots shall be minimum .5 foot candles.
6. Accent lighting of buildings, landscaping and signage is required.
7. All lighting adjacent to residential areas will be placed in such a way to prevent glare or overflow lighting into these areas.

3.04 SITE FURNITURE

Site furniture shall include benches, seats, tables, trash receptacles, and planters, and may be placed at building entrance plazas and at entry walks. All site furniture shall be selected from a list of standard furniture, provided by the VBDA, see (Exhibit H).

Shade Trees

| <u>Botanical Name</u> | <u>Common Name</u> | <u>Minimum Size</u> |
|------------------------------------|--------------------|-----------------------------------|
| Acer rubrum | Red Maple | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Acer platanoides | Norway Maple | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Betula nigra | River Birch | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Ginkgo biloba (male) | Ginkgo Tree | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Gleditsia triacanthos Varieties | Honey-Locust | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Nyssa Sylvatica | Black Gum | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Platanus acerifolia Bloodgood | London Plane Tree | 14' to 16' Ht. 3-1/2"-4' Cal |
| Quercus acutissima | Sawtooth Oak | 14' to 16' Ht. 3-1/2" - 4" Cal |

Shade Trees

| <u>Botanical Name</u> | <u>Common Name</u> | <u>Minimum Size</u> |
|-----------------------|----------------------|-----------------------------------|
| Quercus borealis | Northern Red Oak | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Quercus coccinea | Scarlet Oak | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Quercus darlingtonia | Darlington Oak | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Quercus nigra | Water Oak | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Quercus palustris | Pin Oak | 14' to 16" Ht. 3-1/2" - 4" Cal |
| Quercus phellos | Willow Oak | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Quercus Virginiana | Live Oak | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Sophora Japonica | Japanese Pagoda Tree | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Taxodium Distichum | Bald Cypress | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Tilia cordata | Little Leaf Linden | 14' to 16' Ht. 3-1/2" - 4" Cal |
| Zelkova Serrata | Japanese Zelkova | 14' to 16' Ht. 3-1/2" - 4" Cal |

Flowering Trees

| Botanical Name | Common Name | Minimum Size |
|-------------------------------------|--------------------------|-------------------------------|
| Acer buergeranum | Trident maple | 8'-10' Ht. 2-1/2" - 3" Cal |
| Acer palmatum | Greenleaf Japanese Maple | 5'-6' Ht. 1-1/2" - 2" Cal |
| Acer Palmatrum Atropurpureum | Redleaf Japanese Maple | 5'-6' Ht. 1-1/2" - 2" Cal |
| Cercis canadensis | Eastern Redbud | 6'-8' Ht. 1-3/4" - 2" Cal |
| Cornus species | Dogwoods | 6'-8' Ht. 1-3/4" - 2" Cal |
| Carataegus species | Hawthorns | 6'-8' Ht. 1-3/4" - 2" Cal |
| Lagerstroemia indica | Crapemyrtle | 6'-8' Ht. 1-3/4" - 2" Cal |
| Magnolia soulangiana | Saucer Magnolia | 6'-8' Ht. 1-3/4" - 2" Cal |
| Magnolia Virginiana | Sweetbay Magnolia | 6'-8' Ht. 1-3/4" - 2" Cal |
| Malus varieties | Flowering crabapples | 6'-8' Ht. 1-3/4" - 2" Cal |
| Prunus cerasifera 'Thundercloud' | Purpleleaf Plum | 6'-8' Ht. 1-3/4" - 2" Cal |
| Prunus species | Flowering Cherries | 6'-8' Ht. 1-3/4" - 2" Cal |
| Pyrus calleryana 'Bradford' | Bradford Pear | 6'-8' Ht. 1-3/4" - 2" Cal |

LANDSCAPE PLANTING LIST

D

Evergreen Trees

| <u>Botanical Name</u> | <u>Common Name</u> | <u>Minimum Size</u> |
|--------------------------|-------------------------|---------------------|
| Cupressocyparis leylandi | Leyland Cypress | 4'-5' Ht. |
| Ilex attenuata 'Fosteri' | Foster's American Holly | 5'-6' Ht. |
| Ilex opaca (Female) | Berried American Holly | 5'-6' Ht. |
| Magnolia grandiflora | Southern Magnolia | 5'-6' Ht. |
| Pinus strobus | White Pine | 4'-5' Ht. |
| Pinus taeda | Loblolly Pine | 4'-5' Ht. |
| Pinus thunbergi | Black Pine | 4'-5' Ht. |

Large Shrubs

| <u>Botanical Name</u> | <u>Common Name</u> | <u>Minimum Size</u> |
|-------------------------------|---------------------|---------------------|
| Azalea indica | Indian Azalea | 18"-24" Ht. & Sp. |
| Ilex species | Hollies | 18"-24" Ht. & Sp. |
| Juniperus species | Junipers | 18"-24" Ht. & Sp. |
| Kalmia Latifolia | Mountain Laurel | 2-1/2'-3' Ht. & Sp. |
| Magnolia Virginiana | Sweet Bay Magnolia | 2-1/2'-3' Ht. & Sp. |
| Myrica cerifera | Southern Wax-Myrtle | 2-1/2'-3' Ht. & Sp. |
| Osmanthus Species | Osmanthus | 2-1/2'-3' Ht. & Sp. |
| Photinia frazieri | Red Photinia | 2-1/2'-3' Ht. & Sp. |
| Photinia serrulata | Chinese Photinia | 2-1/2'-3' Ht. & Sp. |
| Pyracantha coccinea varieties | Firethorns | 2-1/2'-3' Ht. & Sp. |
| Viburnum species | Viburnums | 2-1/2'-3' Ht. & Sp. |

Medium Shrubs

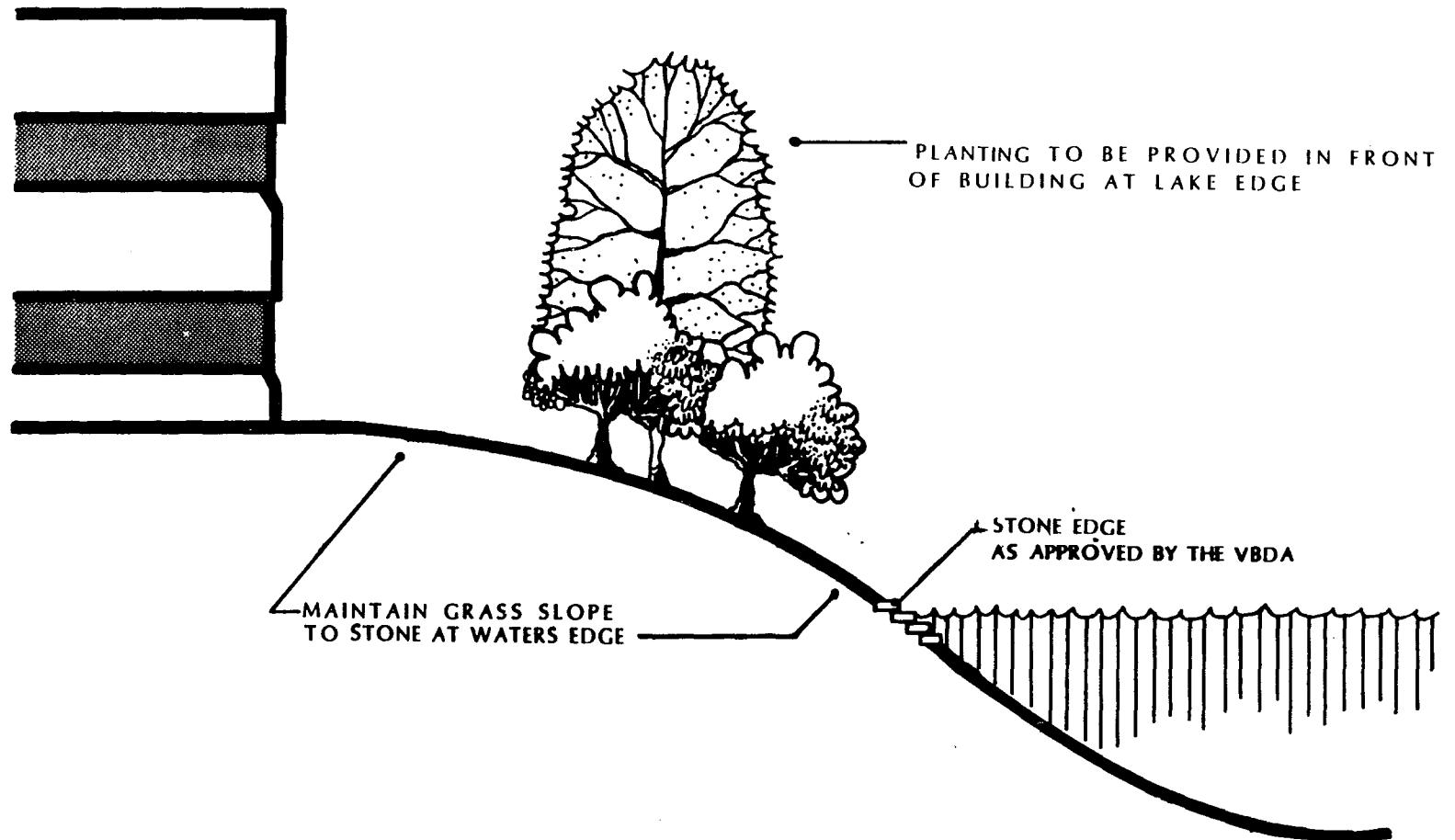
| <u>Botanical Name</u> | <u>Common Name</u> | <u>Minimum Size</u> |
|---|-----------------------|---------------------|
| Abelia species | Abelias | 15"-18" Ht. & Sp. |
| Aucuba japonica | Japanese Aucuba | 15"-18" Ht. & Sp. |
| Azalea obtusum Kaempferi | Kaempferi Azalea | 15"-18" Ht. & Sp. |
| Berberis julianae | Wintergreen Barberry | 15"-18" Ht. & Sp. |
| Euonymus alatus | Winged Euonymus | 15"-18" Ht. & Sp. |
| Ilex species | Hollies | 15"-18" Ht. & Sp. |
| Juniperus species | Junipers | 15"-18" Ht. & Sp. |
| Myrica pennsylvania | Northern Bayberry | 15"-18" Ht. & Sp. |
| Nandina domestica | Heavenly Bamboo | 15"-18" Ht. & Sp. |
| Pieris japonica | Japanese Andromeda | 15"-18" Ht. & Sp. |
| Prunus laurocerasus 'Schipkaensis' | Schipka Cherry Laurel | 15"-18" Ht. & Sp. |
| Pyracantha coccinea Lalandi "Lowboy" | Lowboy Firethorn | 15"-18" Ht. & Sp. |
| Raphiolepis Incisa | Indian Hawthorn | 15"-18" Ht. & Sp. |
| Spiraea species | Spireas | 15"-18" Ht. & Sp. |

Small Shrubs

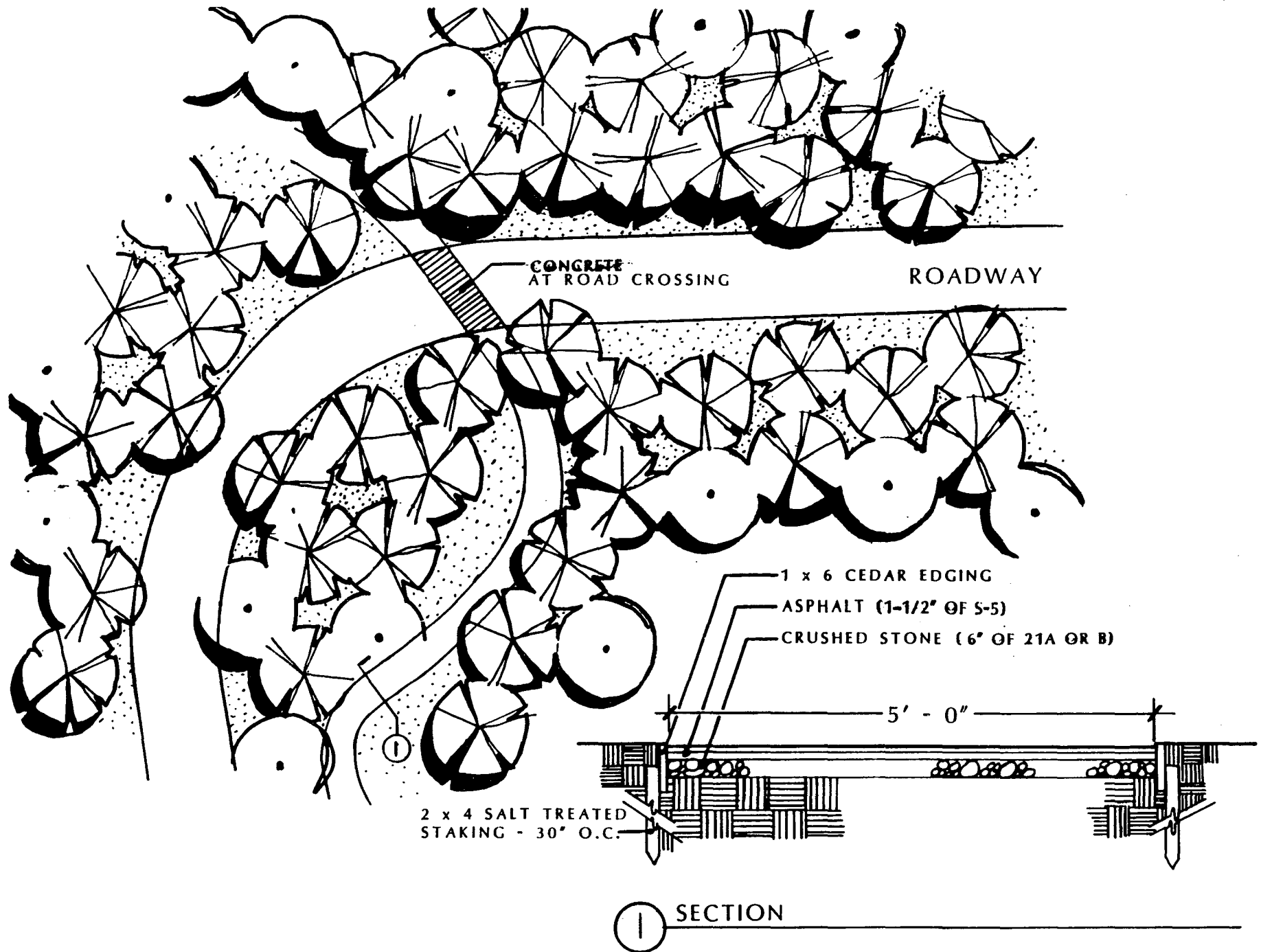
| <u>Botanical Name</u> | <u>Common Name</u> | <u>Minimum Size</u> |
|---|---------------------------|---------------------|
| Azalea kurume | Kurume Azaleas | 15"-18" Ht. & Sp. |
| Berberis thunbergi Atropurpurea 'Nana' | Crimson Pygmy Barberry | 12"-15" Ht. & Sp. |
| Euonymus alatus Compactus | Dwarf winged Euonymus | 15"-18" Ht. & Sp. |
| Ilex species | Spreading Hollies | 15"-18" Sp. |
| Ilex species | Non-spreading Hollies | 15"-18" Ht. |
| Juniperus species | Junipers | 15"-18" Sp. |
| Nandina domestica 'Nana' | Dwarf Nandina | 10"-12" Ht. & Sp. |
| Pinus mugho Mughus | Mugo Pine | 10"-12" Ht. & Sp. |

Ground Covers

| <u>Botanical Name</u> | <u>Common Name</u> | <u>Minimum Size</u> |
|-----------------------------|----------------------------|---------------------|
| Cotoneaster species | Cotoneasters | 15"-18" Sp. |
| Hedera helix | English Ivy | 2-1/4" Pot |
| Iberis Sempervirens | Evergreen Candytuft | 1 qt. |
| Juniperus horizontalis var. | Creeping Juniper Varieties | 15"-18" Sp. |
| Juniperus chinensis var. | Compact Juniper Varieties | 15"-18" Sp. |
| Juniperus conferta | Blue Pacific Juniper | 15"-18" Sp. |
| Liriope varieties | Liriope | 1 qt. |
| Ophiopogon Japonicus | Mondo Grass | 1 qt. |
| Pachysandra terminalis | Japanese Spurge | 2-3/4" Pot |
| Vinca minor | Periwinkle | 2-3/4" Pot |

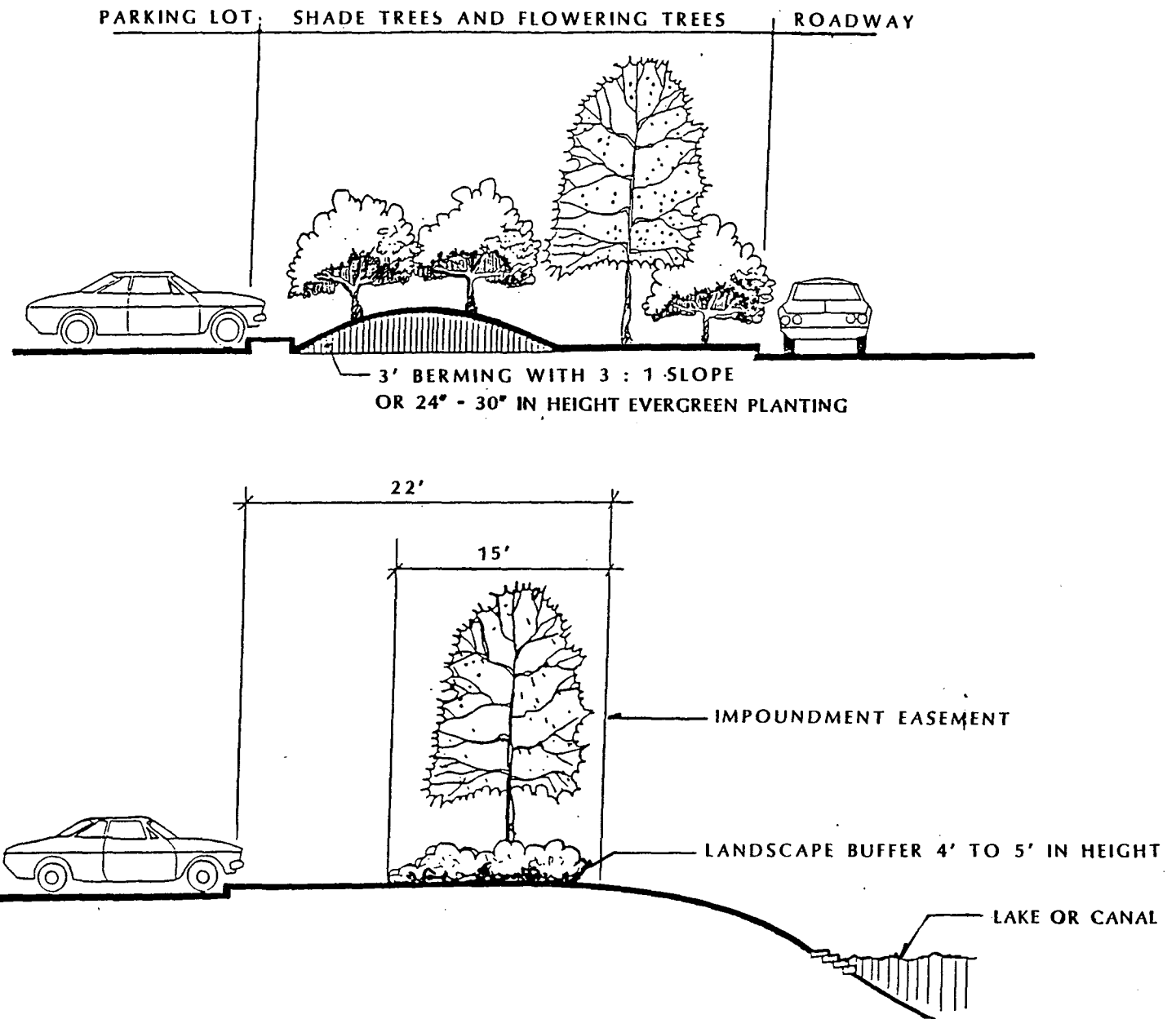


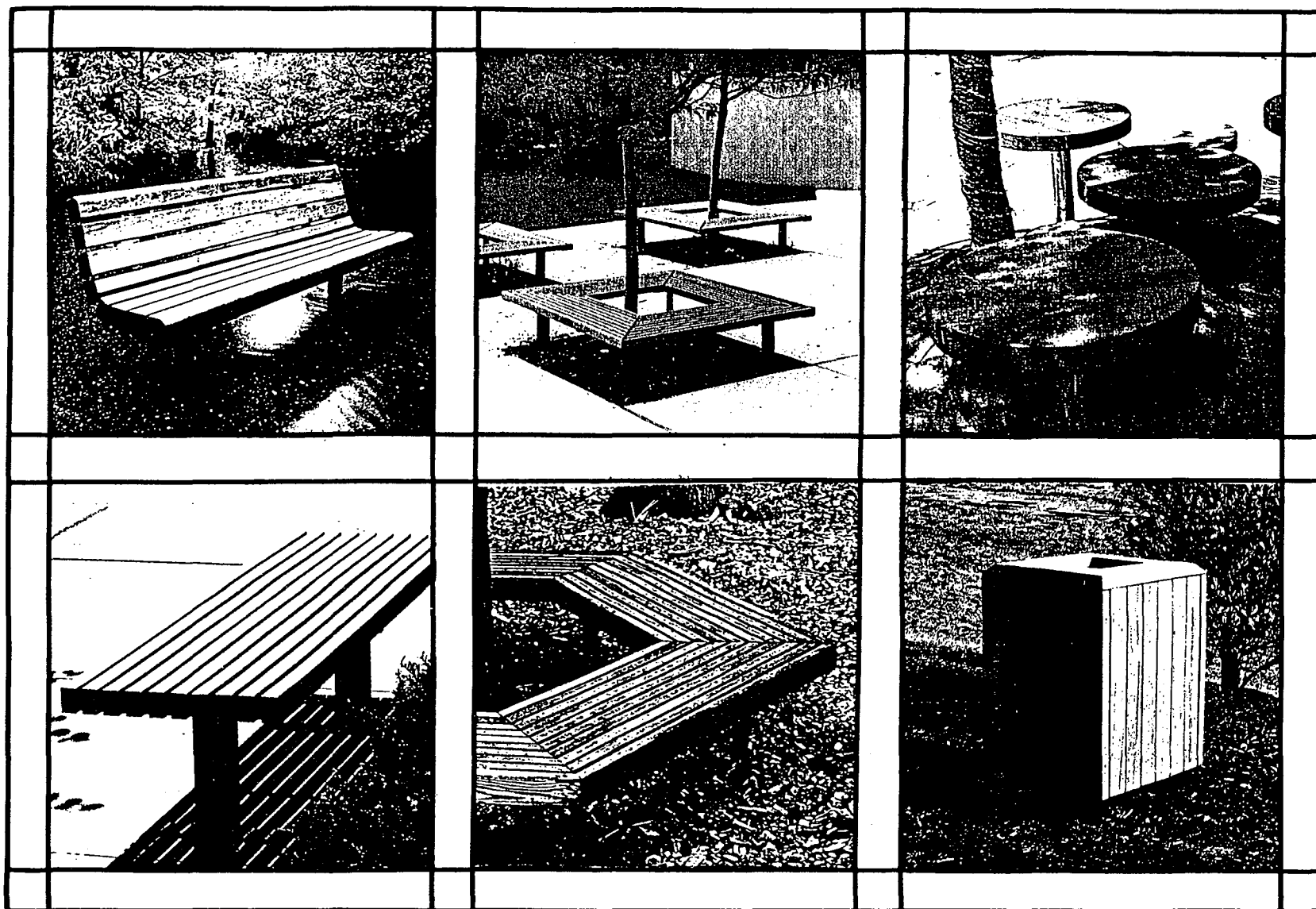
E TYPICAL LAKE EDGE



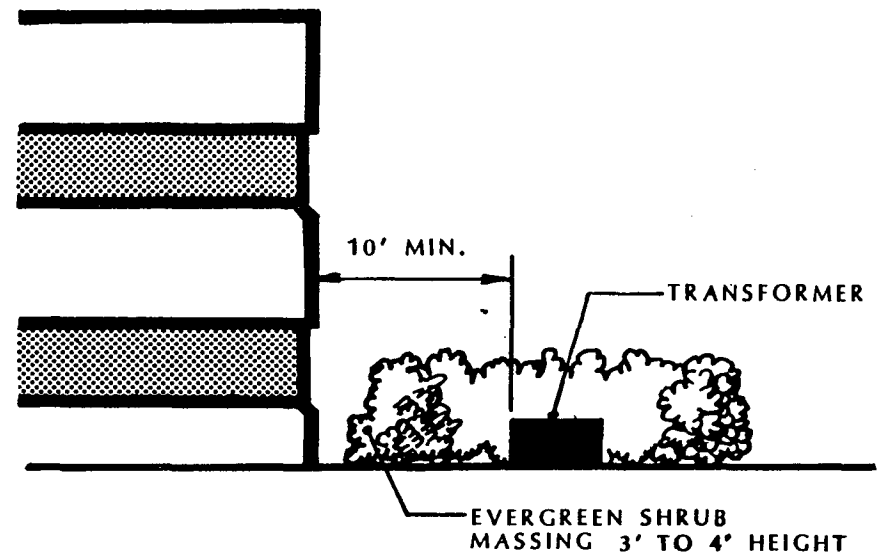
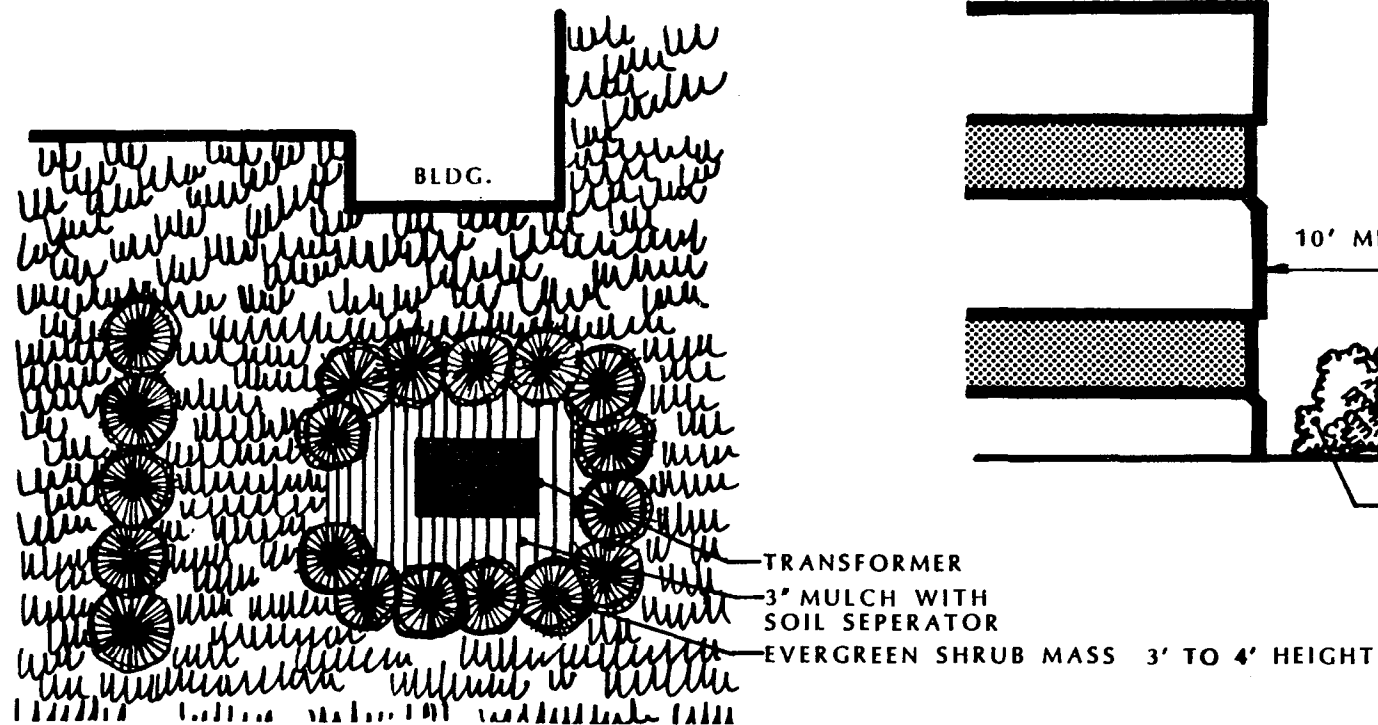
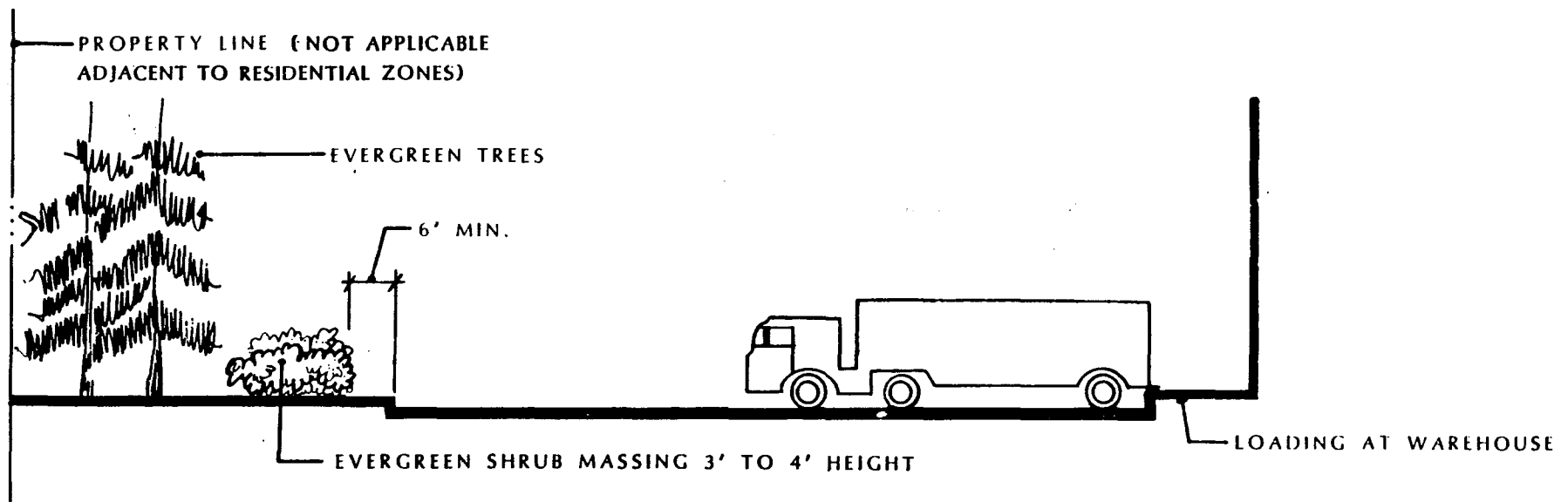
F TYPICAL JOGGING TRAIL

NOTE: CROWN JOGGING TRAIL AS REQUIRED
TO PROVIDE POSITIVE DRAINAGE

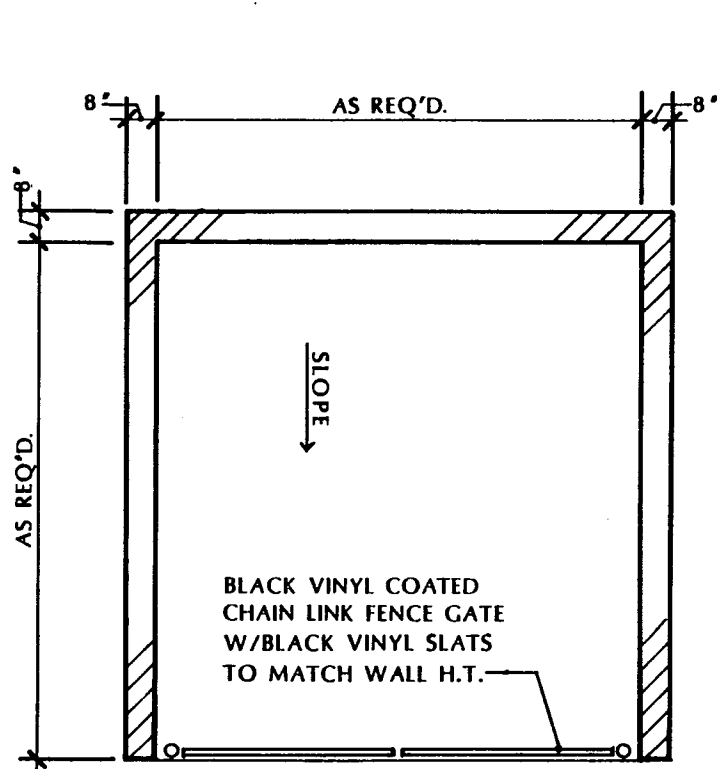




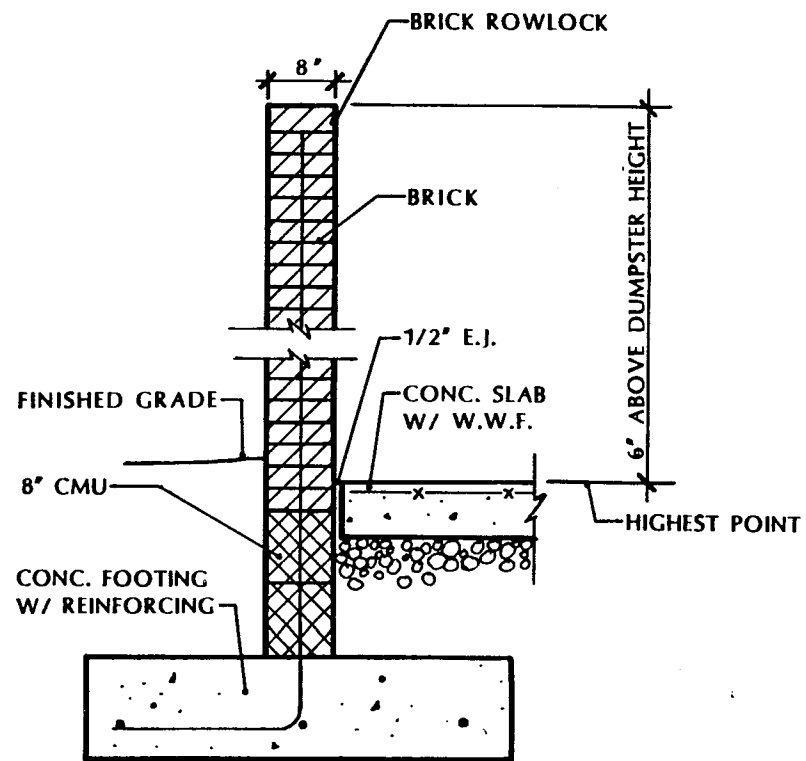
SITE FURNISHINGS



1 VARIOUS SCREENING REQUIREMENTS SITE UTILITIES AND LOADING DOCKS



DUMPSTER ENCLOSURE PLAN

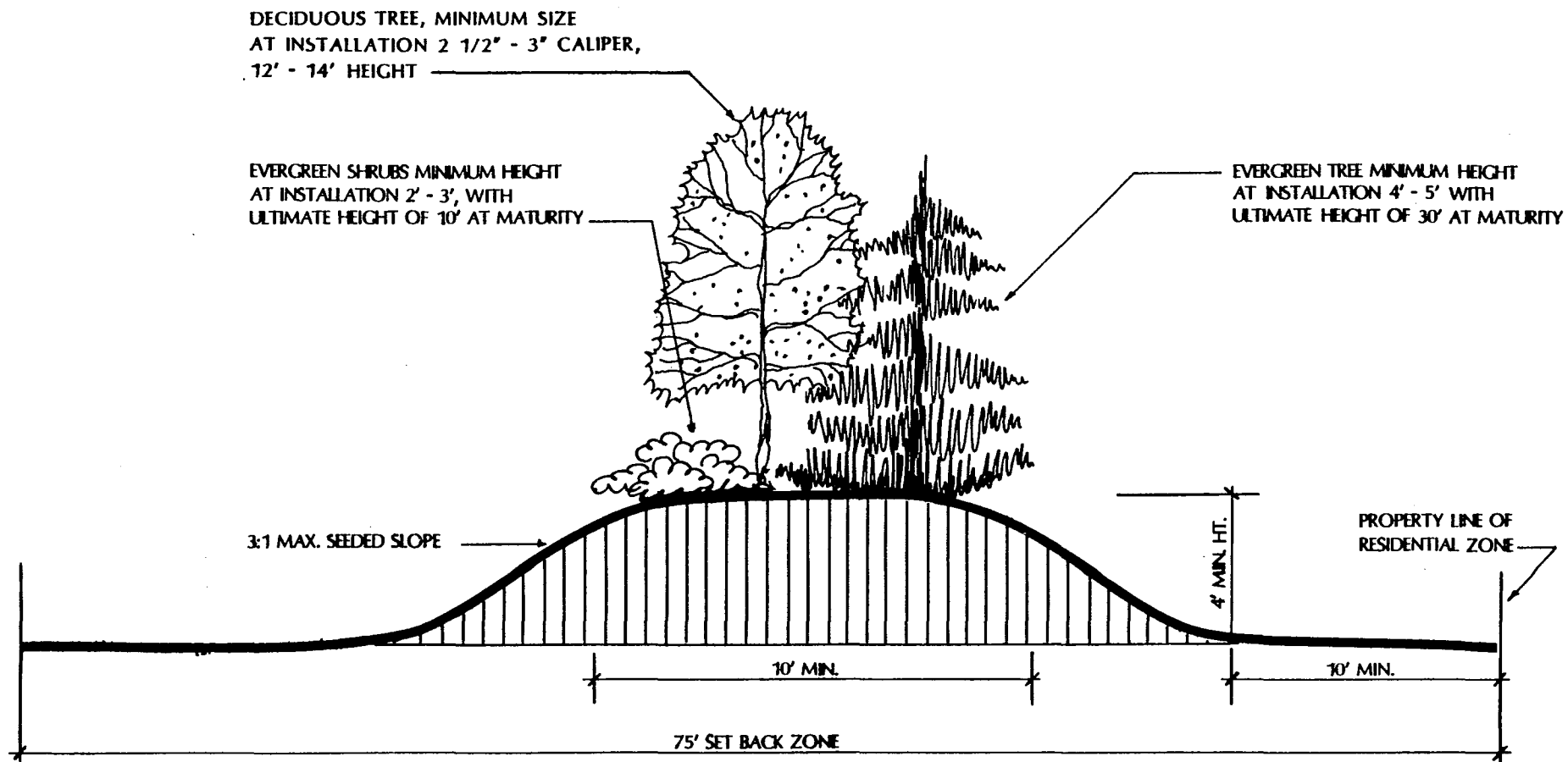


WALL SECTION



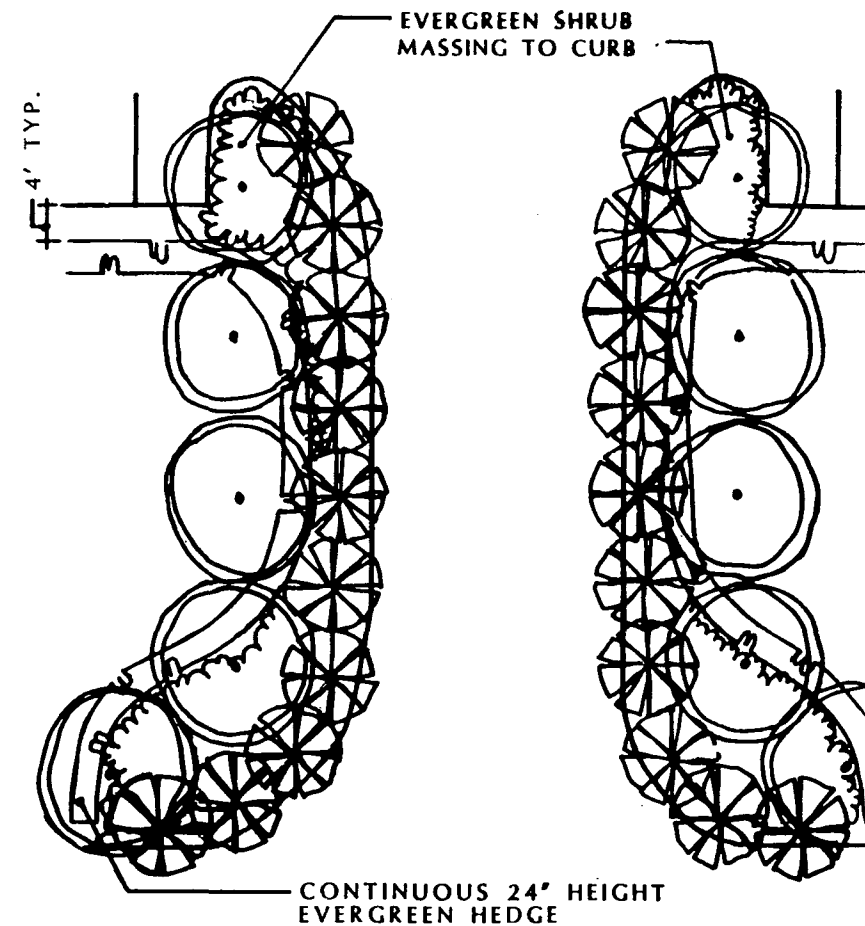
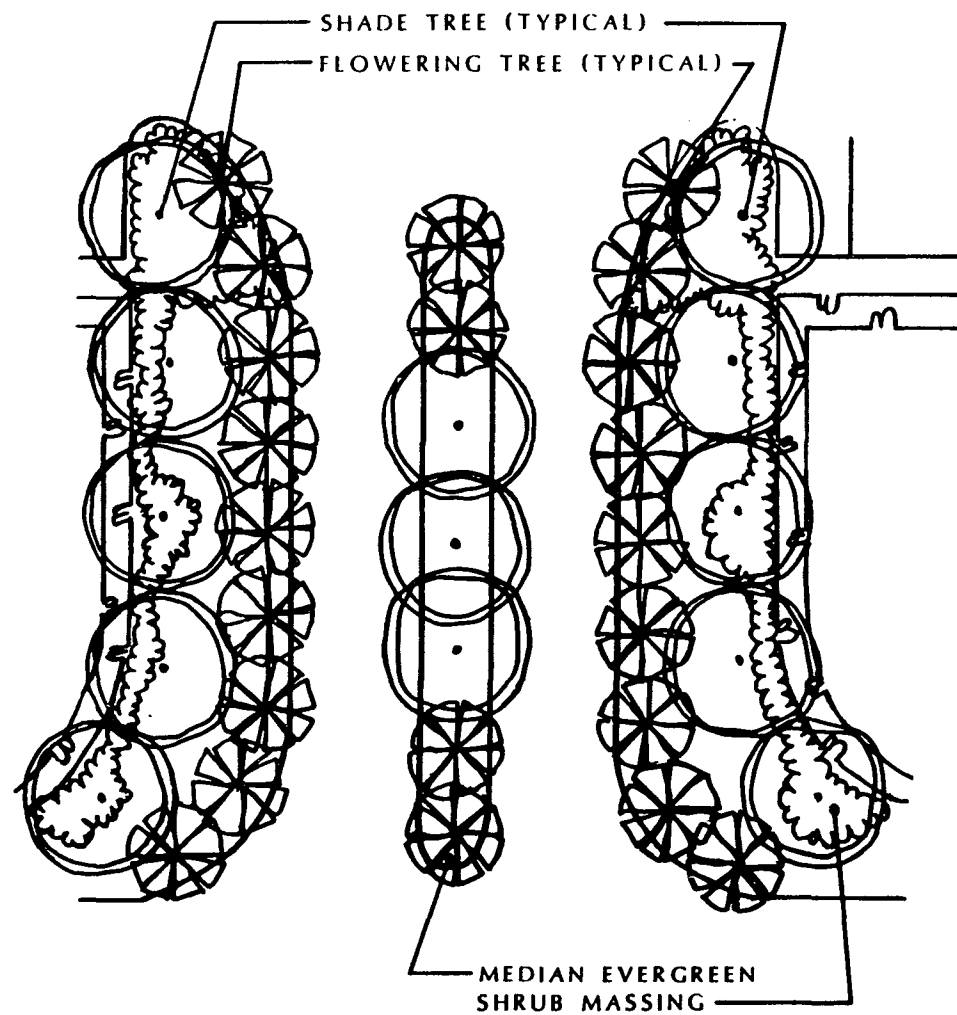
DUMPSTER ENCLOSURE

NO SCALE



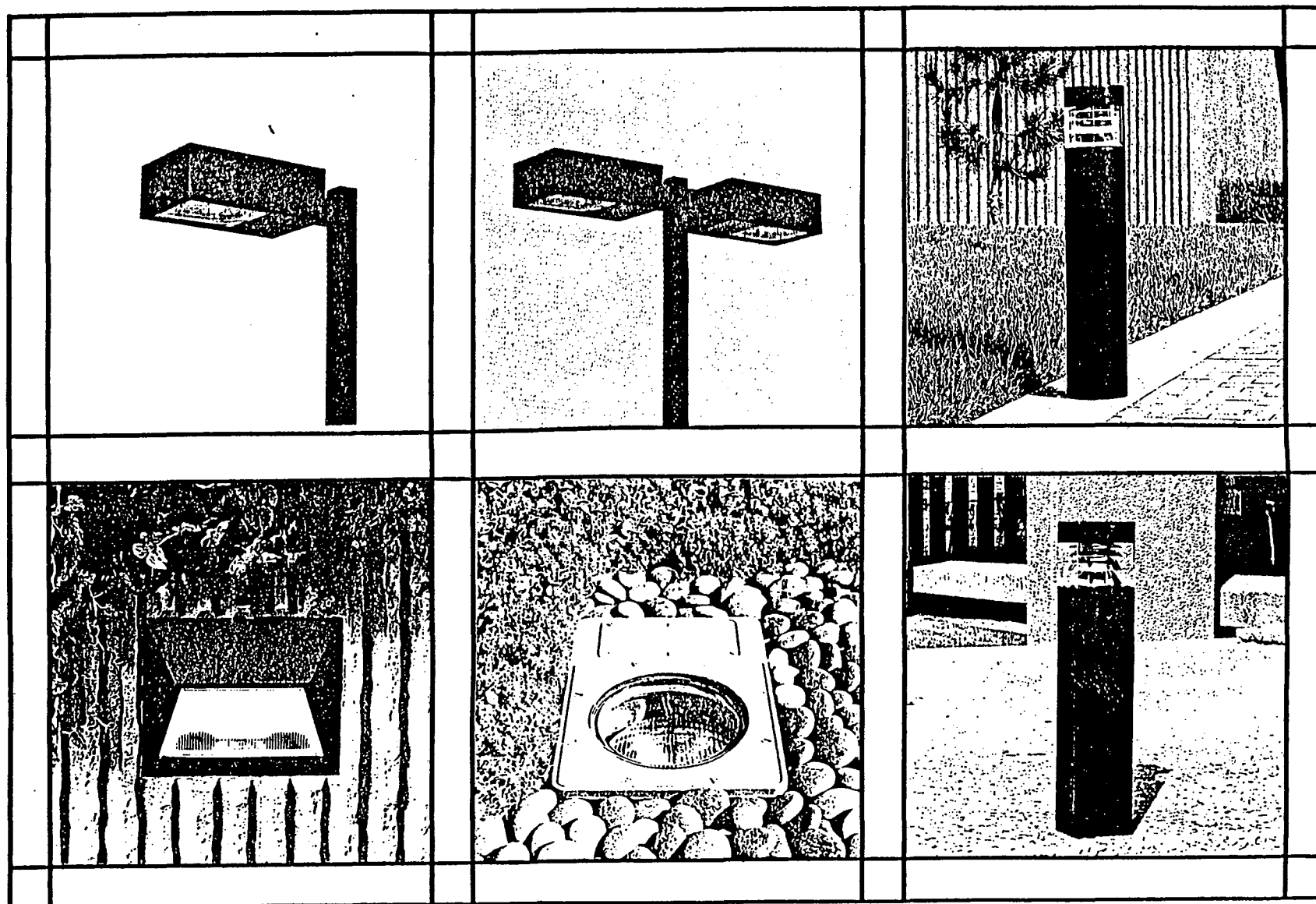
NOTE: PLANTING SHALL PROVIDE A CONTINUOUS
VISUAL BUFFER IN A SERPENTINE PATTERN

K SCREENING ADJACENT TO RESIDENTIAL ZONES



Note: The drawings above are at a conceptual level to indicate the design intent. The landscape architect shall respond to all required City of Virginia Beach visibility triangles for intersections.

L TYPICAL BUILDING ENTRY DRIVES



ARTICLE IV SIGNAGE

4.01 BUILDING SIGNAGE DESIGN CRITERIA

- A. Background: The graphics system will serve to identify, inform and direct vehicular and pedestrian traffic in an aesthetically pleasing manner, in addition to efficiently and effectively moving the traffic throughout the complex. The implementation of a coordinated system is facilitated in the fact that Corporate Landing as a development is being constructed in a planned manner with other protective architectural controls.

- B. Building Identification:
 - 1. General: The signage exhibits for the buildings within this criteria have been designed to address all building types and functions that will exist within the complex. The system has been designed to provide the following signage types:
 - a. There may be one free-standing site sign for each complex or cluster of buildings within the LDO and the R&D districts, see (Exhibit P).
 - b. There may be tenant signs on the buildings, see (Exhibit Q).
 - c. There may be one individual site sign for each building within the MDO district, see (Exhibit O).
 - d. There may be one individual site sign for the MXD and MXD2 districts, identifying the name of the MXD and MXD2 centers, see (Exhibit R).

- e. Lettering, unless otherwise approved by the VBDA, for all exterior building signage and exterior temporary signage shall be the lettering style optima medium, except for the park entry sign which shall be optima semi bold.

C. Location:

- 1. General: The location of all signs shall be as recommended and approved by the VBDA. All site signs setbacks shall be in accordance with the City of Virginia Beach City Zoning Ordinance.

D. Construction:

- 1. General: All signs shall be constructed and designed in accordance with the design criteria and in accordance with the sign exhibits. In addition, all signs shall comply with the City of Virginia Beach City Zoning Ordinance.

E. Ancillary Signage:

- 1. All sign support structures and the rear of each sign face shall be painted DuPont Imrom Black or equivalent. All signage placed in the right-of-way shall conform to the Manual on Uniform Traffic Control Devices (MUTCD). However, "Jogging Trails", "Please Drive Slowly", etc. shall not be used in the right-of-way.
- 2. Regulatory Signs: Standard Department of Transportation (DOT) signs will be utilized, see (Exhibit T).
- 3. Informational Signs: These signs, for example, "Jogging Trails", "Please Drive Slowly", etc., will utilize similar materials in construction as described in Paragraph E.1, above.

F. Temporary Signage

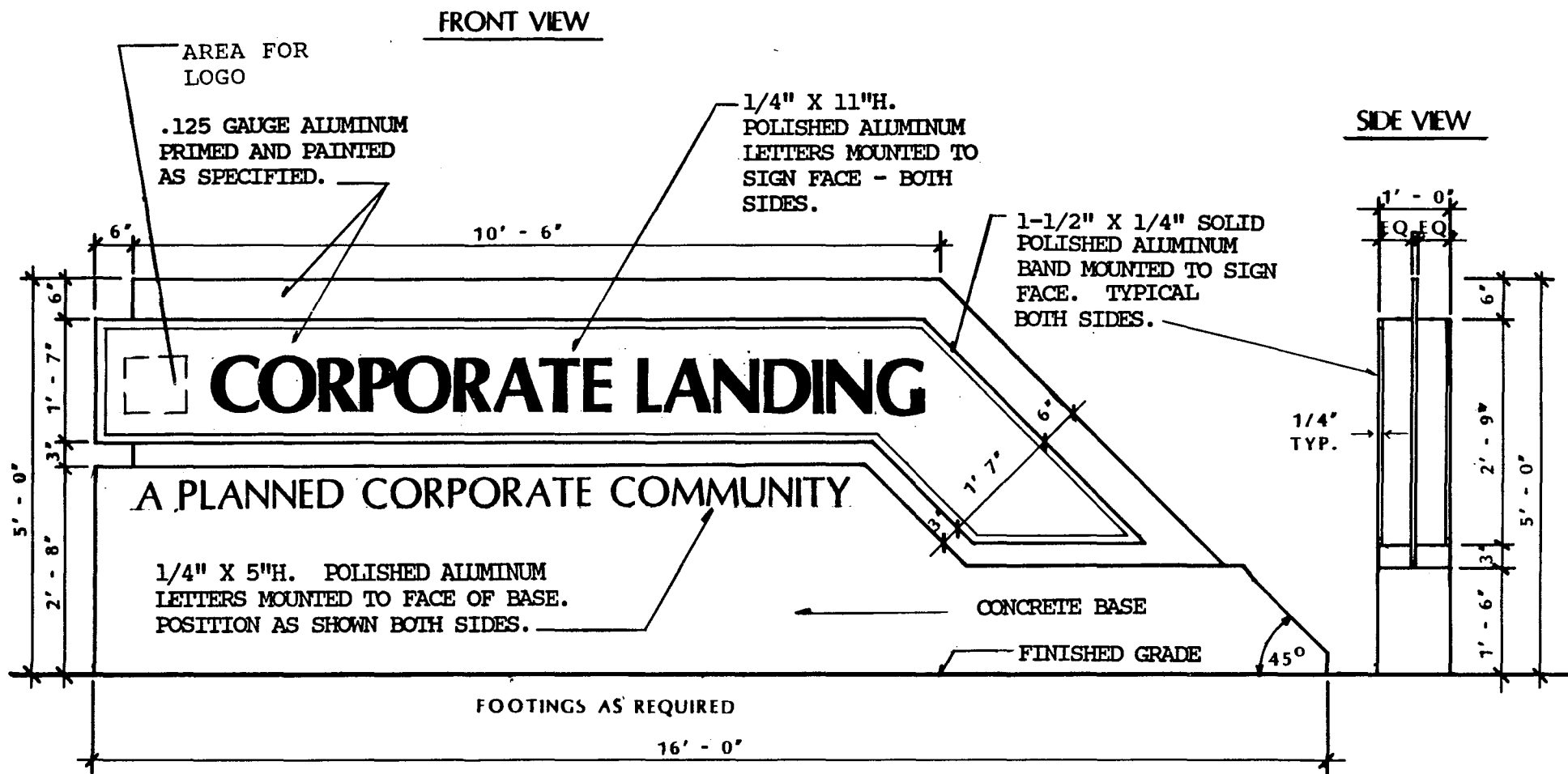
1. General: No temporary signs will be permitted except as described below, see (Exhibit T).
 - a. Temporary construction signs shall be permitted during the construction of the permanent facility and shall be removed upon issuance of the certificate of occupancy by the City of Virginia Beach. All temporary signs shall be ground mounted. One project construction sign shall be permitted and shall be located parallel to the street and shall include only the following information:

Building Name
Developer
Architect
Landscape Architect
Consulting Engineers
General Contractor
Major Tenants
Lending Institution
 - b. No subcontractor signs shall be permitted. The temporary construction sign outlined above shall be a minimum of ten (10) feet within the property line and adjacent to the construction trailer. No construction signs will be permitted off site.
 - c. One real estate sign shall be permitted per building and shall be allowed for 6 months. Following this period, additional approval shall be obtained from the VBDA, see (Exhibit T).

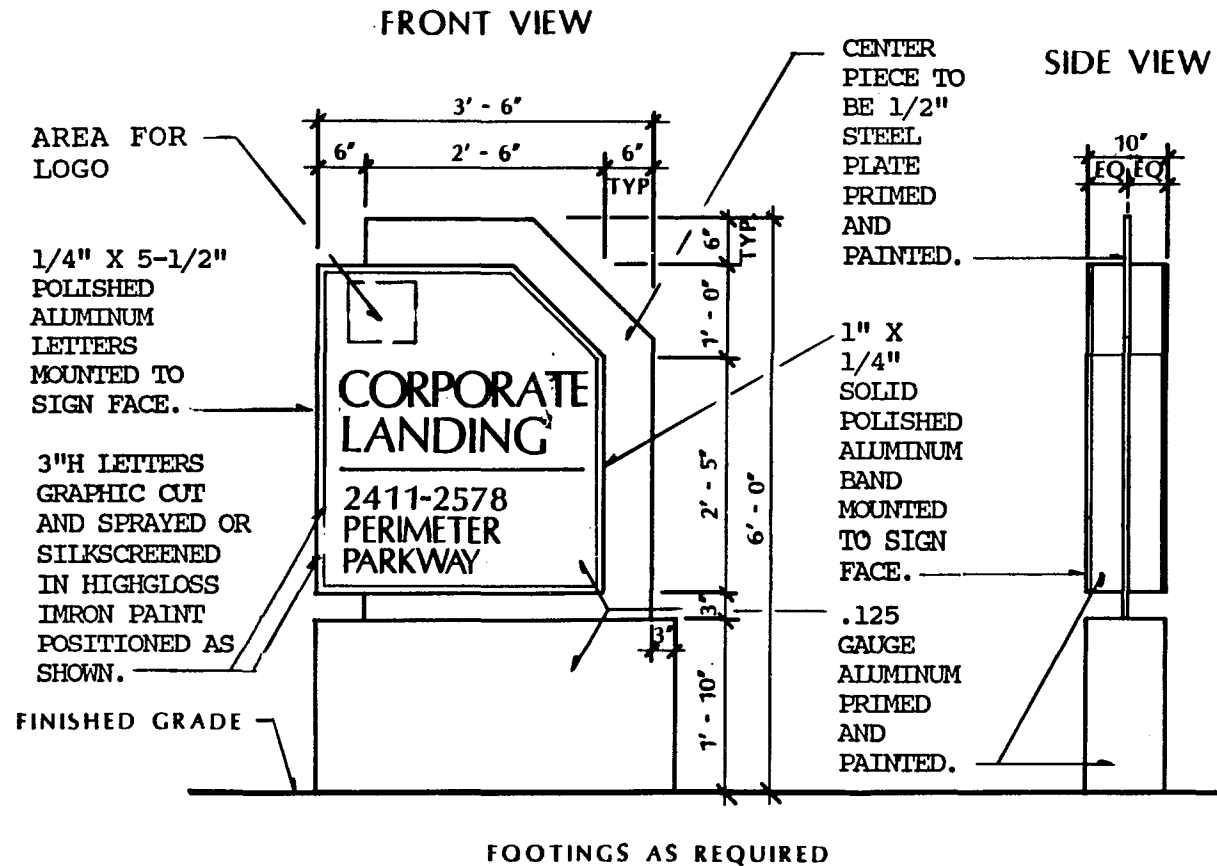
- G. Plan Submittal and Approval Procedures: The VBDA will consider each site individually. All tenant signs on buildings, as shown in (Exhibit R), shall be submitted with the construction documents for each building. Four (4) sets of plans of the proposed signage must be submitted to the VBDA prior to their submission to the City of Virginia Beach. Upon approval, one (1) set will be returned to the tenant/owner and three (3) sets will be retained by the VBDA.

The plans should include the following:

- Sign elevation depicting proposed copy.
 - Site plan with location of proposed signage.
 - Shop drawings outlining construction details.
 - Landscaping plan for area surrounding signage with lighting and any required berming.
- H. Violation and/or non-compliance with the above procedures will allow the VBDA to remove the non-conforming sign at the expense of the owner/tenant.
- I. Maintenance of all signs shall be required by all tenant/owners. Signs shall be kept cleaned and painted as required to maintain the state of quality that existed at the time of installation.

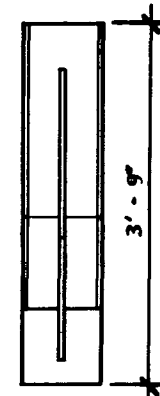


N PARK ENTRY SIGN



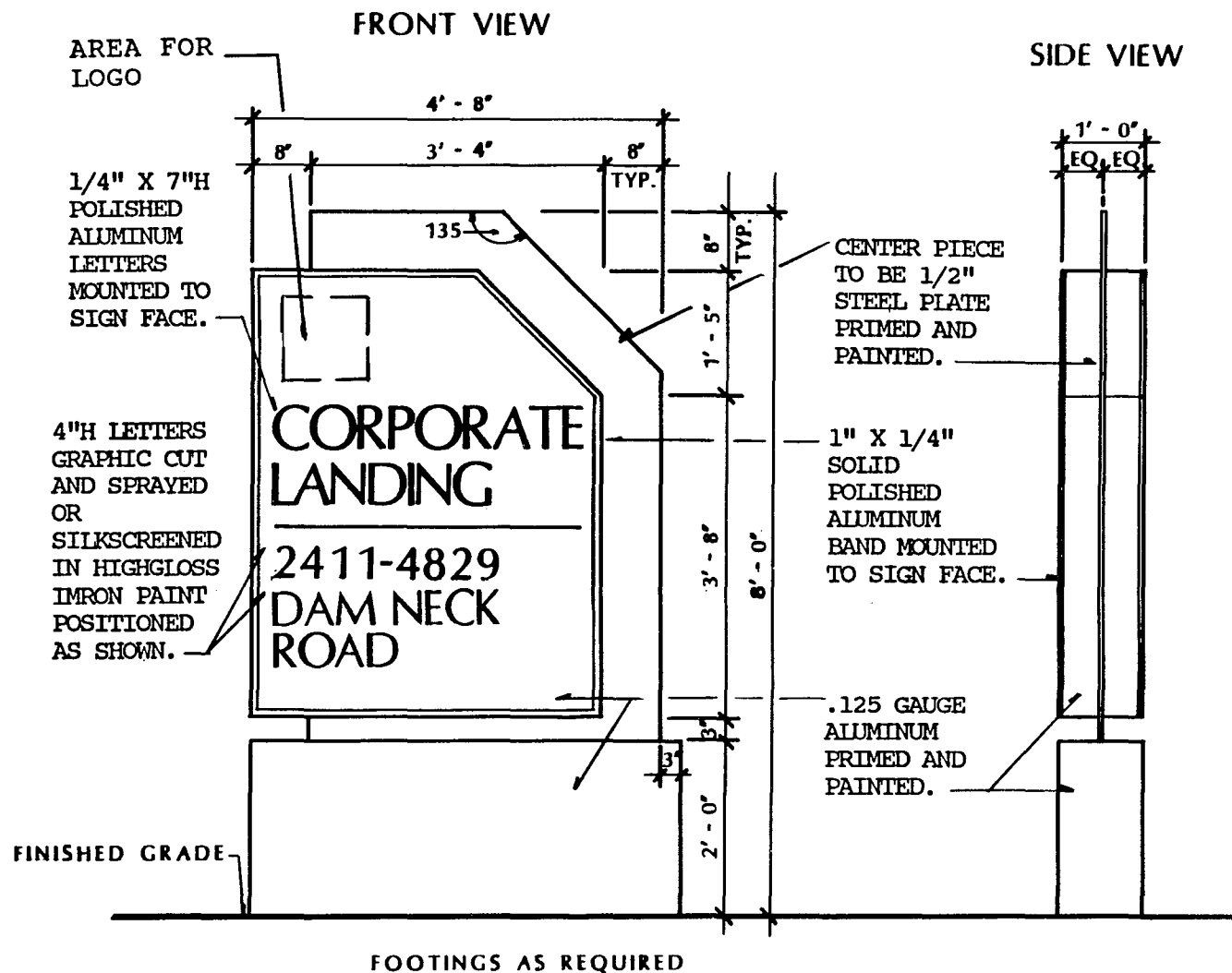
NOTE: CENTER
PIECE SHALL BE
PAINTED AN
INDIVIDUAL
COLOR TO
COORDINATE
WITH LDO, MDO,
R&D, AND MXD
AREAS OF THE
PARK.

TOP VIEW



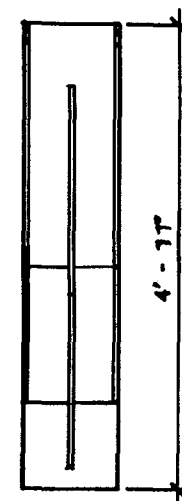
INDIVIDUAL BUILDING SIGN

EXAMPLE OF FREESTANDING SIGN TO IDENTIFY INDIVIDUAL BUILDING WITHIN MDO AREA



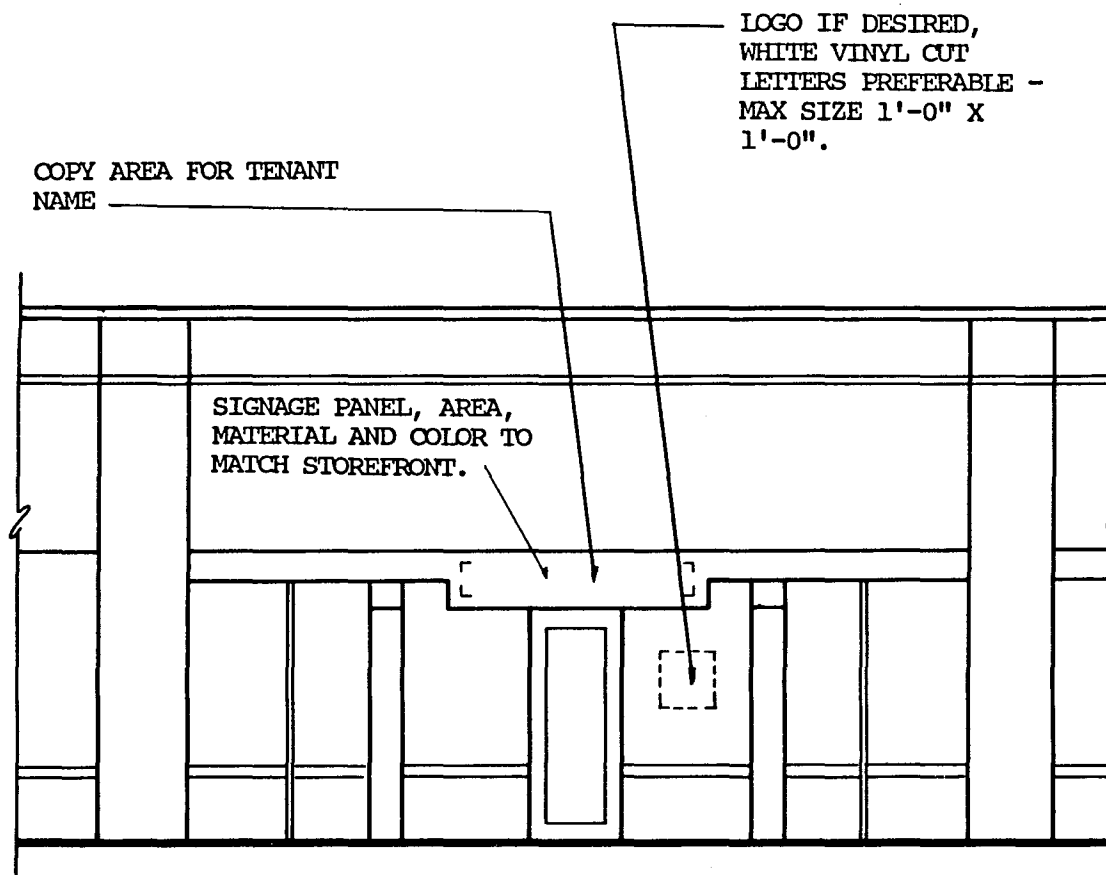
NOTE:
CENTER PIECE
SHALL BE
PAINTED AN
INDIVIDUAL
COLOR TO
COORDINATE
WITH LDO,
MDO, R&D,
AND MXD
AREAS OF THE
PARK.

TOP VIEW



BUILDING CLUSTER SIGN

EXAMPLE OF FREESTANDING SIGN TO IDENTIFY A CLUSTER OF TWO OR MORE BUILDINGS WITHIN LDO AND R&D AREAS

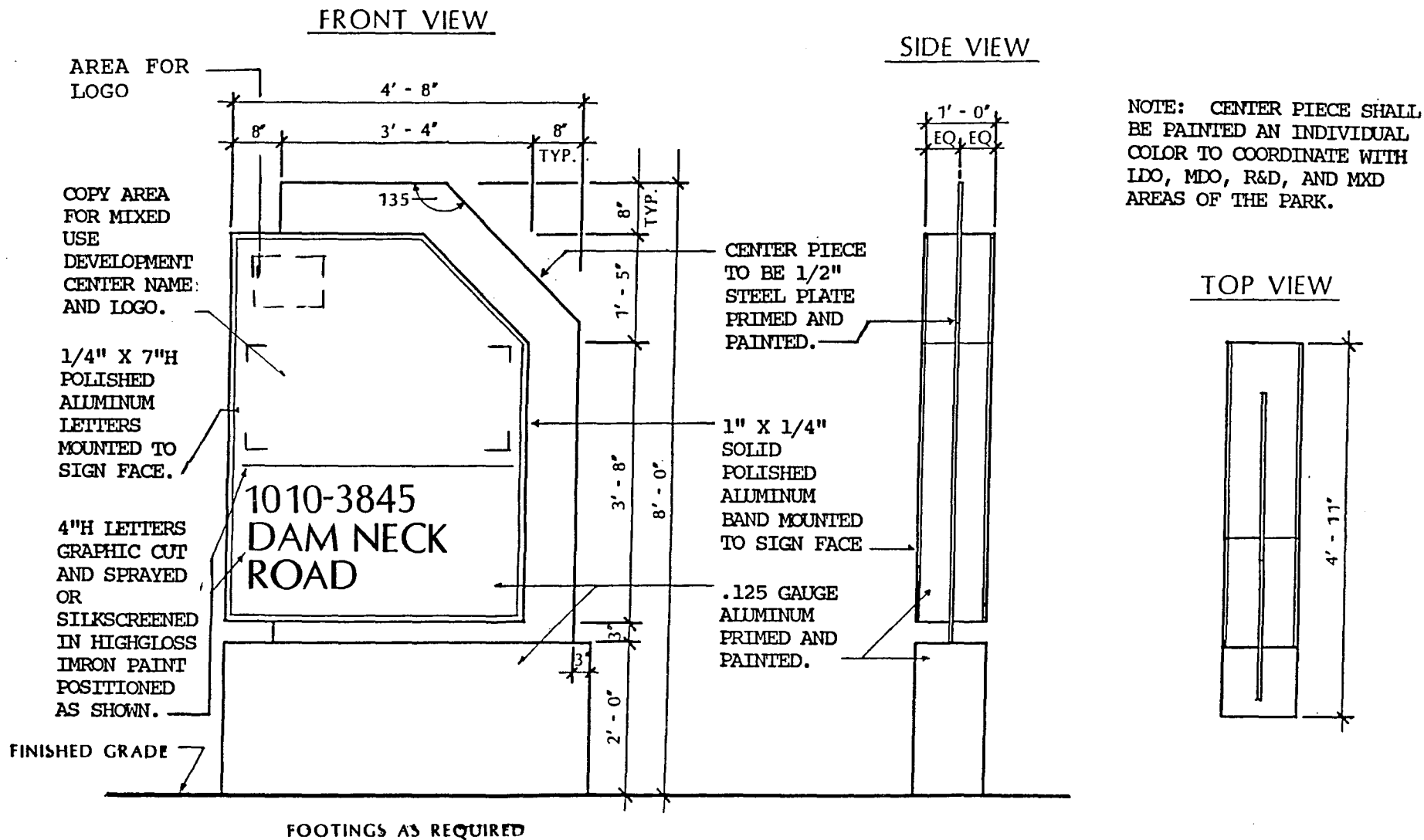


The above drawings is to serve as an example to illustrate how tenant names on the buildings for the MXD and R&D areas shall be an integral part of the architectural facade of each building. The tenant signage system shall accompany the submittal of the construction documents to the VBDA for approval. This will be required for each and every building.



TENANT SIGNS ON BUILDINGS

EXAMPLE OF SIGN TO IDENTIFY NAME OF TENANT



MIXED USE DEVELOPMENT SIGN

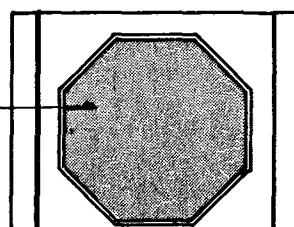
EXAMPLE OF FREESTANDING SIGN TO IDENTIFY BUILDINGS WITHIN MDX AREA

REFLECTORIZED
24" STOP SIGN
STYLE PER
VIRGINIA CODE
USE IN OPAQUE
DECAL FORM
AND APPLY
DIRECTLY TO
SIGN FACE.

TOP VIEW



FRONT VIEW



2" BORDER
AROUND SIGNS
TO BE PAINTED
THE SAME
COLOR AS SIGN
POST.

SIDE VIEW

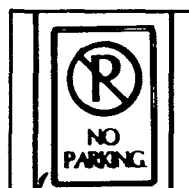
NO PARKING,
FIRE LANE
SIGN, NO
U-TURN AND
ANY OTHER
REGULATORY
SIGN(S) USE
THIS FORMAT.

3" X 3"
EXTRUDED
ALUMINUM
POSTS WITH 3"
WIDE EXTRUDED
ALUMINUM SIGN
FRAME .090",
BAKED ENAMEL
FINISH.

TOP VIEW



FRONT VIEW



SIDE VIEW



NOTE: PAINT ALL SIGN POSTS AND
BACKS OF SIGNS FLAT BLACK.

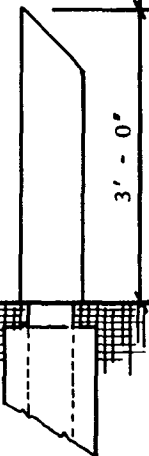
TOP VIEW



FRONT VIEW



SIDE VIEW



FIBERGLASS
BOLLARD WITH
POLYURETHANE
ENAMEL FINISH.

FINISHED
GRADE

7' - 0"

PER VA. CODE

7' - 0"

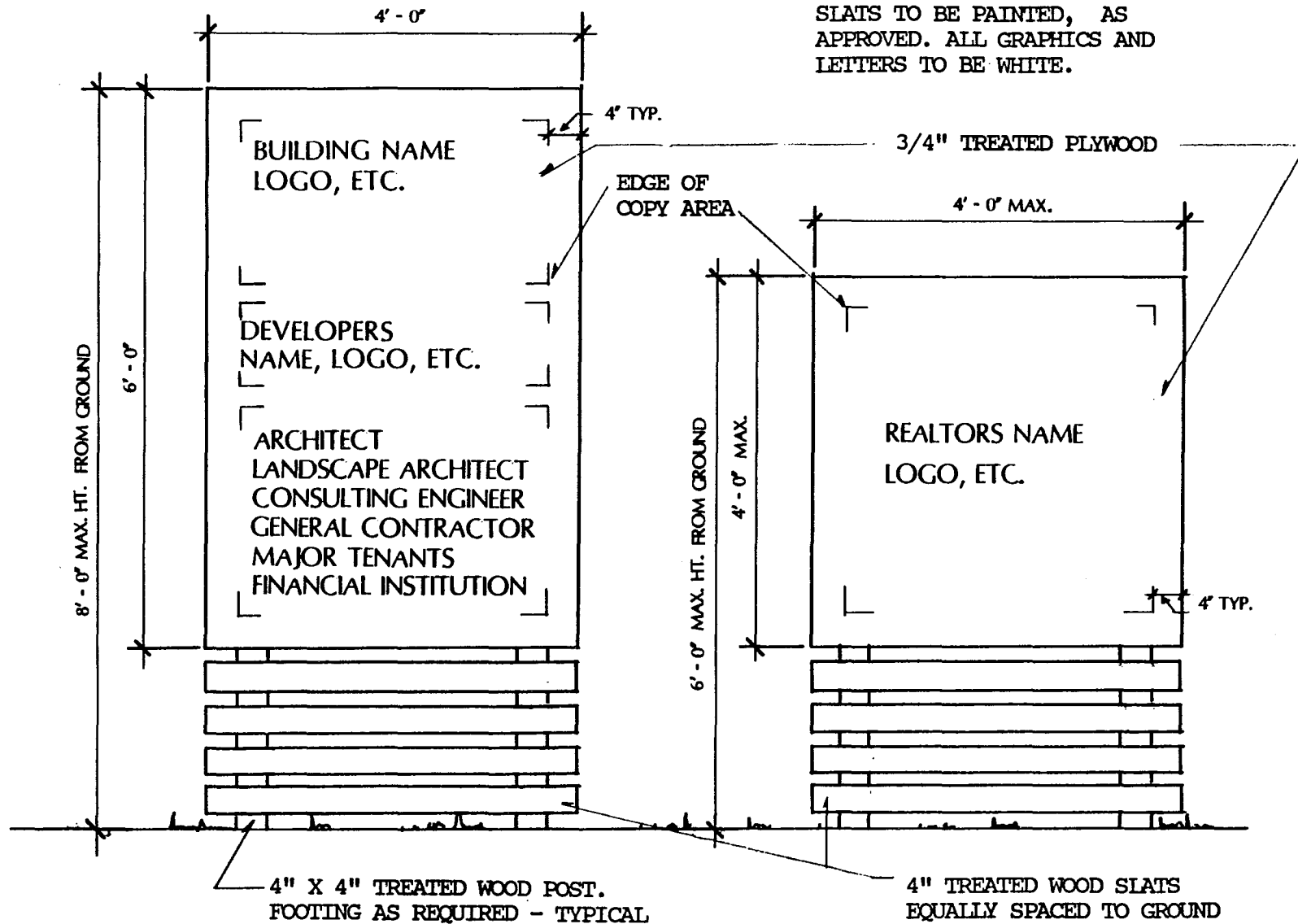
3' - 0"

9" CONCRETE FOOTING X 12" DEEP AND TAMP FILL



REGULATORY SIGNAGE

NOTE: FRONT AND BACK OF
PLYWOOD SIGN FACE AND WOOD
SLATS TO BE PAINTED, AS
APPROVED. ALL GRAPHICS AND
LETTERS TO BE WHITE.



TEMPORARY SIGN

REALTOR SIGN



TEMPORARY AND REALTOR SIGN

ARTICLE V: THE BUILDING

5.01 APPLICABLE CODES

- A. Construction of all facilities within Corporate Landing are governed by the City of Virginia Beach Zoning Code and the State of Virginia Statewide Building Code, latest ammended edition.

5.02 BUILDING DESIGN CONCEPT

- A. Corporate Landing offers the highest quality of design and creativity in the park's building construction. In order to insure the development of a harmonious corporate environment, the following design parameters have been established.
- B. The General Building Concept is to build one story to multi-story buildings, set in a landscaped environment that maintains an aesthetic continuity throughout the park. Each designer is encouraged to express individuality and creativity while blending his or her design into the sites surrounding context. The general design context should reflect a high quality, modern corporate image. Colonial or historical designs shall not be permitted. All designs are subject to the VBDA's approval. It is intended that the basic harmony of the park's architecture shall prevail so that no building shall detract from the attractiveness of the overall environment.

5.03 EXTERIOR MATERIALS AND TREATMENT

- A. Exterior building materials shall be of types that are durable and permanent in quality and appearance. Exterior finishes should require little or no maintenance. Wood and metal siding is prohibited. Recommended architectural materials are glass, granite, pre-cast concrete, and brick.

- B. Glazing shall be the type to prevent vision from the exterior to the inside during daylight hours, i.e. reflective glazing or black glazing.
- C. Sealant shall match mortar color.
- D. All roof top or grade mounted equipment shall be painted black and screened with a permanent material such as masonry or equal.
- E. Exposed louvers, similar metal panels inserts, or penthouse enclosures are to be painted to match the masonry color or predominant metal color on the building.
- F. Exposed handrails shall be painted to match the predominant metal on the building unless an exception is given for high quality finished metals, such as polished bronze or stainless steel.
- G. Roof ballast shall be a standard James River Stone tan in color.

5.04 COLOR OF MATERIALS

- A. Colors, materials, and finishes are to be coordinated in a consistent manner on all elevations.
- B. In order to maintain aesthetic continuity within the park, bright overall colors shall not be permitted. However, bright colors can be used for accents, such as entry doors, or trim and shall be as approved by the VBDA.

5.05 BUILDING HEIGHTS

- A. The building height limitation shall be as indicated under Article 1.02, items 1 through 5.

5.06 SCREENING AND LOCATION OF EQUIPMENT

- A. Dumpsters shall be located on grade at the rear of the building whenever possible. All dumpsters shall be screened by a brick wall or other masonry materials approved by the VBDA, see (Exhibit J).
- B. All mechanical equipment, grade mounted or roof mounted, shall be enclosed or screened by opaque glass, metal or masonry, so as to be an integral part of the Architectural design and not visible from adjacent streets.

ARTICLE VI: REVIEW OF PLANS BY VIRGINIA BEACH DEVELOPMENT
AUTHORITY

6.01 INTRODUCTION

- A. Corporate Landing is governed by a series of recorded covenants which are available upon request by any developer or owner interested in Corporate Landing. These covenants and restrictions are in place to insure the proper and most appropriate development of the business park through the implementation of uniform standards. Furthermore, all pertinent requirements of public agencies shall be followed in the development of this property and all plans for development of a specific site shall be approved by the VBDA and approved by the City of Virginia Beach and public agencies having jurisdiction.
- B. The requirements contained in this criteria have been based on reliable sources; however, we do not preclude the potential of later modifications. Each buyer shall be responsible for verification of all code requirements at the time of purchase and development.
- C. The maintenance of Corporate Landing will be handled by a separate Association specifically designed to insure proper care of the common areas, including landscaping, lighting and signage.

6.02 PROCEDURES

- A. Prior to commencement of the development of any project design, the project owner and the design professionals are required to participate in an introduction to Corporate Landing Master Plan Concept. This introduction will consist of a presentation on the development concept, as presented by the VBDA's design representative. Such meetings will be arranged by the park developer at the building developer's request.
- B. Prior to the commencement of any site improvements such as construction or alteration of buildings, fence enclosures, paving, grading, drainage, or any other permanent improvements on any site, the Owner, leasee or occupant of any site shall first submit Plans and Specifications for such improvements to the VBDA for its written approval and approval by the City of Virginia Beach. At that time an application fee will be required by the Applicant.

6.03 REVIEW OF SUBMITTAL REQUIREMENTS

Four complete sets of plans shall be submitted for each review. Four (4) sets shall be retained for the VBDA's files. Plans shall be submitted to the VBDA at the following stages of planning and design:

- A. Schematic Design
- B. Construction Documents

6.03.1 Approved construction documents by the City of Virginia Beach with any City comments shall be submitted to the VBDA for approval at the construction document submittal stage.

A. AT SCHEMATIC/PRELIMINARY REVIEW, THE FOLLOWING MATERIAL SHALL BE SUBMITTED:

1. SITE PLAN - Scale: 1" = 40'-0" Minimum
 - a. Site plan and site coverage ratio: building and paving
 - b. Building location, overall dimensions, height, finish floor elevations
 - c. Setback lines
 - d. Site circulation
 - e. Site signage location
 - f. Preliminary grading plan indicating drainage patterns.
 - g. Connections to existing utility lines
 - h. Landscaping: preliminary landscape plan
 - i. Amount and location of employee and guest parking
 - j. Location of trash collection area
 - k. Location of walks, and drives
 - l. Loading areas
 - m. Site lighting
 - n. Signage
2. BUILDING DESIGN - Scale: 1/8" = 1' -0"
 - a. Floor plans
 - b. Elevations, in color or with color samples. Scale 1/8" = 1'0"
 - c. Perspective rendering desirable

- d. Building materials specification list
- e. Location and size of all exterior mechanical and electrical equipment both at grade and on the roof.
- f. Preliminary review shall be concerned with building materials, colors and finishes, architectural treatment and rooflines.

B. CONSTRUCTION DOCUMENT REVIEW:

- 1.
 - a. Elevations in color with samples of exterior materials as specified in the contract documents.
 - b. City of Virginia Beach approved architectural, engineering, and landscape architectural working drawings and specifications.
 - c. Approval of plans must be given by the VBDA prior to commencement of any construction.

2. LANDSCAPE DESIGN - Minimum scale: 1" = 25'.

- a. General location, types and sizes of trees, shrubs and ground covers
- b. Extent of seeding and/or sodding
- c. Extent of clearing
- d. Existing trees and wooded areas
- e. Areas to be irrigated
- f. Location of trash collection area
- g. Proposed walks, steps and retaining walls
- h. Building entrances and plazas
- i. Location of major signage
- j. Landscape cost estimate as required under 3.01 item C-12.

6.04 BASIS OF APPROVAL

- A. Review and approval will be based on standards set forth in the Declaration and the Design Criteria. Plans will be reviewed not only for the quality of the specific proposal, but also the project's effect and impact on its neighbors and on the general park character. Evaluation will be made of spatial relationships among and between buildings and other surrounding elements. Careful concern will be given to location and treatment of utility and service facilities with the intent of minimizing detrimental visual and environmental impact.
- B. Site ingress and egress shall be reviewed for efficient flow of traffic within the site and on abutting streets.
- C. If plans and specifications are not sufficiently complete or are otherwise inadequate, the VBDA shall reject them as being inadequate. Approval of design will be good for a one (1) year period, after which time, if construction has not started the building developer will be required to resubmit.
- D. After approval of the contract documents by the VBDA, any change in exterior materials or exterior colors during construction, shall be approved by the VBDA prior to ordering of materials.

6.05 REVIEW COMMITTEE

- A. Committee shall be composed of the VBDA's Industrial Parks Committee. The Industrial Parks Committee shall be entitled to approve minor variations to those portions of the Design Criteria not encompassed by the zoning proffers of record affecting the property.

- B. The Parks Committee shall receive comments and recommendations as to whether the Plans submitted should be approved or rejected from staff members and the Authority's consultants who are knowledgeable in the fields of architecture, engineering and landscape architecture.
- C. When questions of judgement or interpretation arise, the decision of the VBDA is final and binding on all parties.
- D. Any revisions, additions, or alterations to any portion of approved plans shall be subject to review and approval.
- E. Neither Corporate Landing or the VBDA or its successors or assigns shall be liable in damages to anyone submitting plans to them for approval, or to any owner or occupant of land affected by this Declaration, by reason of mistaken judgement, negligence or nonfeasance, arising out of or in connection with the approval or disapproval or failure to approve any such plans. Every person, corporation, partnership, or organization who submits plans to the VBDA or Declarant for approval agrees, by the submission of such plans, and every owner or occupant of any of the property agrees by acquiring title thereto or an interest therein, that he, she or it will not bring any action, proceeding or suit against the VBDA or Declarant to recover any such damages.

6.06 REVIEW TIME

- A. The VBDA shall receive proposals for review, a minimum of fourteen (14) days prior to the second Tuesday of each month. The review comments shall be available from the VBDA office within two weeks of that second Tuesday.

6.07 PUBLIC APPROVALS

- A. All pertinent requirements of public agencies shall be followed in the development of this property. Plans shall be submitted concurrently both to the City of Virginia Beach and to the VBDA. Each buyer must verify code requirements at the time of purchase and development.
- B. Although based on local zoning and subdivision regulations, the Corporate Landing Design Criteria may be more restrictive in land use, site development standards, landscape requirements, or in other matters. In every case in which these criteria are at variance with public agency requirements, the more restrictive regulations shall govern. In the event of any inconsistency between the Deed and the Design Criteria, the provisions of the Deed shall control.

DESIGN CRITERIA AUTHORED BY:

CMSS ARCHITECTS

CREDIT GIVEN TO THE FOLLOWING FOR REVIEW AND ASSISTANCE IN PREPARATION OF THIS DESIGN CRITERIA:

LANGLEY AND McDONALD
VIRGINIA BEACH DEVELOPMENT AUTHORITY
DEPARTMENT OF ECONOMIC DEVELOPMENT

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CORPORATE LANDING DESIGN CRITERIA

Virginia Beach, Virginia
CMSS Project No. 93-000.46

ADDENDUM # 2

AUGUST 18, 1998

1. Page 13, Exhibit C: delete and replace with Exhibit C (see the end of this addendum for Exhibit C).
2. Page 15, item 2.02 A: delete entire line which begins "Maximum floor area ratio..." and delete item 1.
3. Page 20, item 2.09 A, delete in its entirety and replace with the following: All loading docks that are visible from the lake area, adjoining properties, street right-of-ways, or from within the park shall be screened with a 10' high screen wall that matches the materials used on the building. The appearance of the wall shall then be softened in its entirety with large evergreen shrubs or evergreen trees. Minimum height of shrubs at installation shall be 3' to 4' with spacing not to exceed 3' on center. Minimum height of evergreen trees at installation shall be 6' to 8' with spacing not to exceed 8' on center. The extent of the screen wall and landscaping shall be subject to VBDA approval (see Exhibit I).
4. Page 20, item 2.11 A, delete "other than for required screening of trash or equipment,"
5. Page 21, item 2.11 C, delete "Eight (8) feet" and replace with Ten (10) feet.
6. Page 21, item 2.12 A, "Refuse Facilities" delete in its entirety.
7. Page 21, item 2.13 A, add the following statement at the end of the paragraph "If placed at grade outside the building such devices shall be screened in accordance with Section 3.01 C-11."
8. Page 22, item 2.13 B, delete in its entirety and replace with the following: All site utilities such as transformers, meters, and heat pumps shall be screened in their entirety with evergreen shrubs. Minimum height of shrubs at installation shall be 3' to 4' with spacing not to exceed 3' on center (see Exhibit I).
9. Page 22, item 2.15 A, delete "Exhibit B for location and Exhibit F for construction" and replace with "Exhibit F and the Jogging Trail Master Plan (Exhibit F1). A full size drawing of the Jogging Trail Master Plan is available from the VBDA showing layout and design intent."

10. Pages 24, 25, and 26, delete item 3.01 C "General requirements of new plantings", 1-21 in their entirety and replace with the following:

General Requirements for new Plantings:

1. All shade trees along pedestrian walkways and in parking lots shall have a minimum branching height of 6'-8' above finished grade.
2. Where shrubs or ground covers are used, "massing" is required. Extensive varieties of plants within the planting bed is discouraged. Spacing of low shrubs shall not exceed 3' on center and ground cover shall not exceed 12" on center.
3. Sod rather than seeding is required within 50' of all buildings; all adjoining roads shall have sod along the entire property line from the road edge to the parking lot edge. The minimum width of sod along road edges where there is no parking lot shall be 30'. All other lawn areas not receiving sod may be seeded as approved by the VBDA.
4. Flowering trees shall be the size indicated on the landscape planting list, (see Exhibit D).
5. Shade trees shall be the size indicated on the landscape planting list, (see Exhibit D) except for parking lots and required residential buffer berms which shall be a minimum caliper of 2 ½ - 3 inches.
6. There shall be one shade tree per ten (10) parking spaces with a minimum ground area of 8' x 17' within the parking field and in adjoining curbed planting areas. Only one tree may be provided for each 9' x 18' island in a parking lot. Minimum spacing between trees in parking lot islands shall be 25'-0" unless otherwise approved by the VBDA.
7. A continuous evergreen screening hedge shall be required along any side of a parking lot that abuts the right-of-way of any street or the lake. Where parking lots are visible from any street, the minimum height of the screening hedge at installation shall be 30" minimum planted 3' on center. Berming a minimum height of 3' with approved planting may be substituted to the hedge (see Exhibit G). Where parking lots are visible from the lake, the minimum height of the screening hedge at installation shall be 4' to 5' planted 3' on center.
8. The attached plant list shall dictate varieties to be used unless otherwise approved by the VBDA. Minimum size of plants at installation shall be as defined on the Planting List unless otherwise indicated (see Exhibit D).
9. All site entry drives shall be well landscaped with a combination of evergreen shrubs, flowering shrubs, deciduous shade trees, flowering trees, and flower beds. (see Exhibit L).

10. Grade mounted mechanical equipment such as cooling towers and air-handling equipment shall be screened in their entirety with a screen wall that matches the materials used on the building. The height of the wall shall be 1' higher than the site utility. The appearance of the wall shall then be softened in its entirety with large evergreen shrubs or evergreen trees. Minimum height of shrubs at installation shall be 3' to 4' with spacing not to exceed 4' on center. Minimum height of evergreen trees shall be 6' to 8' with spacing not to exceed 8' on center.
11. All site utilities such as transformers, meters, and heat pumps shall be screened in their entirety with evergreen shrubs. Minimum height of shrubs at installation shall be 3' to 4' with spacing not to exceed 3' on center (see Exhibit I).
12. All dumpsters shall be screened on three sides with a brick screen wall. Screen wall gate is required and shall be black vinyl coated chain link fence with black vinyl slats. Gate height to match that of screen wall. Color of wall brick shall match building brick or as approved by the VBDA (see Exhibit J). The appearance of the wall shall then be softened in its entirety with large evergreen shrubs. Minimum height of shrubs at installation shall be 3' to 4' with spacing not to exceed 3' on center.
13. For all buildings a minimum landscape budget shall be established according to the following chart. The budget shall be established by multiplying the gross building square footage times the cost per square foot. The landscape budget shall be limited to the following items: seeding, sod, irrigation, plant materials, and fine grading for seed and sod areas. The contractor shall submit a detailed landscape cost estimate to the VBDA with the submittal of the construction documents.

| Gross Bldg. S.F. | Cost/S.F. |
|------------------|-----------|
| 30,000 & under | 2.40 |
| 40,000 | 2.34 |
| 50,000 | 2.28 |
| 60,000 | 2.22 |
| 70,000 | 2.16 |
| 80,000 | 2.10 |
| 90,000 | 2.04 |
| 100,000 | 1.98 |

| Gross Bldg. S.F. | Cost/S.F. |
|------------------|-----------|
| 110,000 | 1.92 |
| 120,000 | 1.86 |
| 130,000 | 1.80 |
| 140,000 | 1.74 |
| 150,000 | 1.68 |
| 160,000 | 1.62 |
| 170,000 | 1.56 |
| 180,000 & over | 1.50 |

Note: For building square footage in-between stated gross building square footage, interpolate accordingly to the nearest 1,000 square feet of building to determine the landscape budget.

14. All planting bed areas shall be covered with a 3-inch layer of shredded hardwood mulch.

15. All plant material, topsoil, mulch, fertilizers, etc. shall be subject to the VBDA's approval. Rejected materials shall be removed from the site immediately.
 16. Location of underground utilities shall be determined prior to start of work to avoid damage to utilities.
 17. All planting operations shall be under the supervision of an experienced plantsman.
 18. All plans shall be prepared and sealed by a Virginia certified or registered landscape architect.
 19. All plants shall be nursery grown and shall be in accordance with the most recent edition of the "American Standard for Nursery Stock." Spaded trees shall be accepted if approved by the VBDA.
 20. Shade trees (3 ½" to 4" caliper, 14' to 16' in height) shall be placed 2'-0" off the street right-of-way in a straight line along all roadways which properties abut or adjoin. One tree shall be provided for every 35' of property line that adjoins or abuts the roadway. If applicable, existing street trees on adjoining properties shall be located and shown on all landscape planting plans. The spacing of all new required street trees shall tie into existing trees maintaining a maximum spacing of 35' on center. The variety of shade trees shall be as approved by the VBDA. See Streetscape plan which shall be provided upon request by the VBDA.
 21. Shade trees and/or flowering trees shall be provided in front of the buildings as approved by the VBDA.
 22. The developer of each site that is adjacent to the lake shall provide typical lake edge landscaping as defined in Exhibit E.
 23. The developer of each site that is adjacent to a residential neighborhood shall provide screening as defined in Exhibit K and as approved by the VBDA.
 24. In addition to the above requirements, all landscaping shall comply with the City of Virginia Beach landscape requirements. If any discrepancy exists between the Design Criteria requirements and the City of Virginia Beach Landscape Ordinance, the more stringent requirements shall govern.
-
11. Page 27, item 3.03 A4, delete "cool white mercury vapor lamps" and replace with "metal halide."
 12. Page 27, item 3.03 A 6, delete "required" and replace with "encouraged."
 13. Page 36, Exhibit E, delete the words: "Stone Edge as approved by the VBDA."

14. Page 37, Exhibit F, delete "concrete at road crossing" and replace with, "Stamped concrete to match existing at road crossing."
15. Page 37, Exhibit F, delete the graphic section and replace with the following, "NOTE: For jogging trail layout, see the Jogging Trail Master Plan (Exhibit F1). A full size plan shall be provided upon request from the VBDA."
16. Page 38, Exhibit G, in the diagram of the parking lot adjacent to the road right-of-way, delete the note: "24" – 30" in height evergreen planting" and replace with "Evergreen planting 30" minimum height."
And in the diagram of the parking lot adjacent to lake edge, delete "landscape buffer 4' to 5' in height" and replace with, "Landscape buffer planting 4' – 5' in height, 3' on center."
17. Page 40, delete Exhibit I and replace with Exhibit I at the end of this addendum.
18. Page 42, Exhibit K, in the note that begins "Evergreen shrubs on top of the berm", delete "2' – 3'" and replace with "2 ½' – 3'"
19. Page 43, Exhibit L, delete "Continuous 24" height evergreen hedge" and replace with "continuous evergreen hedge 30" height spaced 3' on center at installation".
20. Page 45, Part B, Building Identification:, delete parts a. – d. and replace the with following:
 - a. For each building or cluster of buildings, there may be one (two-sided) free standing site sign with a maximum of thirty-two (32) square feet of surface area per side. Maximum height of free standing sign shall be eight (8) feet measured from the adjoining finish grade or top of berm. Height of berm and sign shall not exceed 10 feet. Information given on site sign shall be limited to company name, logo, and street address. Final design shall be as approved by the VBDA. Menu board type signs shall not be permitted.
 - b. There may be tenant signs on the buildings, see Exhibits Q and Q1. Exhibit Q is for a single story multiple tenant building and the maximum height of letters shall be 12" and copy area shall not exceed 15 square feet. Exhibit Q1 is for a single tenant for a single building (see the end of this addendum for Exhibit Q1). Building mounted signs shall comply with the following chart:

| Building Height | Building Mounted Sign | Ground Mounted Sign | Maximum Letter/Logo Height For Bldg. Sign | Maximum Height For Ground Mtd. Sign |
|------------------------|------------------------------|----------------------------|--|---|
| Up to 20' | 1 @ 40 SF Max | 1 @ 32 + SF Each Side | 2' Height | 8' from finish grade or top of berm, Combined height of sign and berm shall not exceed 10' in height |
| 20'-39' | 1 @ 75 SF Max | 1 @ 32 + SF Each Side | 3' Height | 8' from finish grade or top of berm, Combined height of sign and berm shall not exceed 10' in height |
| 39' + | 1 @ 105 SF Max | 1 @ 32 + SF Each Side | 4' Height | 8' from finish grade or top of berm, Combined height of sign and berm shall not exceed 10' in height |

- c. Individually fabricated, metal letters or non-worded corporate logos may be mounted to the building in the designated copy area. Plastic letters shall not be permitted.
- d. The size, location on the façade, color and finish of the letters or logo shall be compatible with the building architecture.
- e. All graphics shall be pin-mounted plate and may be backlit or lit with a ground mounted light. Care shall be taken to conceal all conduits, raceways and transformers and they shall not be visible under any circumstances.
- f. Building height shall be measured from finish floor elevation to top of parapet or gravel stop.
- g. Building mounted numbered addresses shall be permitted. The numbered address shall be located near the primary entrance and positioned to ensure maximum visibility. The letter height shall not exceed 15". There shall be only one numbered address for each building except in the R & D section of the park. Street names on the building are not permitted. Numbered addresses shall not be backlit. In multi-tenant buildings where storefront entrances are used, sign information shall be limited to company name, company logo, and suite number. See Exhibit Q for more information.
- h. For sites in Corporate Landing which have under 100 LF of R.O.W. frontage a variance will need to be obtained from the Board of Zoning Appeals to allow for a ground mounted sign.

21. Page 46, Article B, Building Identification, item "e" will now be item "c."
22. Page 50, 51, 53, 54: delete Exhibit O, P, R, and S.
23. Page 57, item 5.03 A, Part B, delete in its entirety and replace with the following: Glazing shall be reflective enough to prevent vision from the exterior to the inside during daylight hours. Reflective glazing shall have a shading coefficient of .20 to .30.
24. Page 58, delete item 5.06 in its entirety.
25. Page 60, item 6.02 B, delete the word "fence" from the third line of the paragraph and delete "and approval by the City of Virginia Beach. At that time an application fee will be required by the Applicant."
26. Page 60, item 6.03, delete "four", and replace with "three" and delete "Four (4) sets" and replace with "Three (3) sets" in the first and second sentences.
27. Page 61, item 6.03.1, delete the following: "Approved construction documents by the City of Virginia Beach with any City comments shall be submitted to the VBDA for approval at the construction document submittal stage." And replace with the following: "Final approved City of Virginia Beach site plan documents shall be submitted to the VBDA before construction begins."
28. Page 61, item 6.03.1 A-2, delete "scale: 1/8" = 1'-0" from the title.
29. Page 61, item 6.03.1 A-2, part a. shall read as follows: "Floor Plans: (1/8" = 1'-0").
30. Page 62, item 6.03.1 A-2, part b. shall read as follows: "Elevations: (1/8" = 1'-0" or 1/16" = 1'-0") in color and a color sample board of all exterior building materials and finishes."
31. Page 62, 6.03.1 A-2, part e, add the following at the end of the sentence: "All equipment on the roof shall be shown on the building elevation with proposed, screening."
32. Page 62, item 6.03.1 B, delete the following: "Construction Document Review" and replace with the following: "CONSTRUCTION DOCUMENTS FOR FINAL REVIEW."





33. Page 62, item 6.03.1 B 1a, delete in its entirety and replace with the following: "Completed construction drawings indicating all exterior finishes, colors and proposed screening of roof top equipment. Actual size of equipment shall be indicated behind screen. The previously submitted colored elevations and the exterior building material sample board which were submitted for preliminary review shall be resubmitted again with the construction drawings.
34. Page 62, delete item 6.03.1B 1b, in its entirety. Item 6.03 1B 1c shall then be changed to read 6.03 1B 1b.
35. Page 62, item 6.03.01 B 2:
f. delete, "Location of trash collection area" and replace with "Dumpster enclosure."
j. delete "item C-12".
And, add the following items:
k. site utilities both above and below grade and any easements associated with them.
l. site lighting
36. Page 63, item 6.05 A, delete the first sentence in its entirety and replace with the following: "Committee shall be composed of the VBDA's Department of Economic Development and the VBDA's architectural, engineering, and landscape architectural consultants, which herein afterward shall be referred to as "the Staff."
37. Page 63, item 6.05 A, in the second sentence delete "Industrial Parks Committee" and replace with "Staff."
38. Page 64, item 6.05 B, delete the entire sentence and replace with "The VBDA shall receive comments and recommendations from the Staff as to whether the plans submitted should be approved or rejected."
39. Page 65, item 6.07 A, delete entire paragraph and replace with the following: "The Applicant is responsible for complying with all applicable requirements of public agencies in the development of site(s) within Corporate Landing and shall make separate submittals to City of Virginia Beach review agencies. The Applicant may make concurrent submittals to both the VBDA and the City."
42. Page 65, item 6.07, add the following:
- C. The property owner is solely responsible for complying with all aspects of the Design Criteria, as well as all applicable codes and regulations. No variance from any aspect of the Design Criteria will be permitted unless approved in writing by the VBDA.

If non-compliance to the Design Criteria is discovered during or after construction, it shall be the sole responsibility of the property owner to rectify all non-complying conditions at his or her expense to the satisfaction of the VBDA.

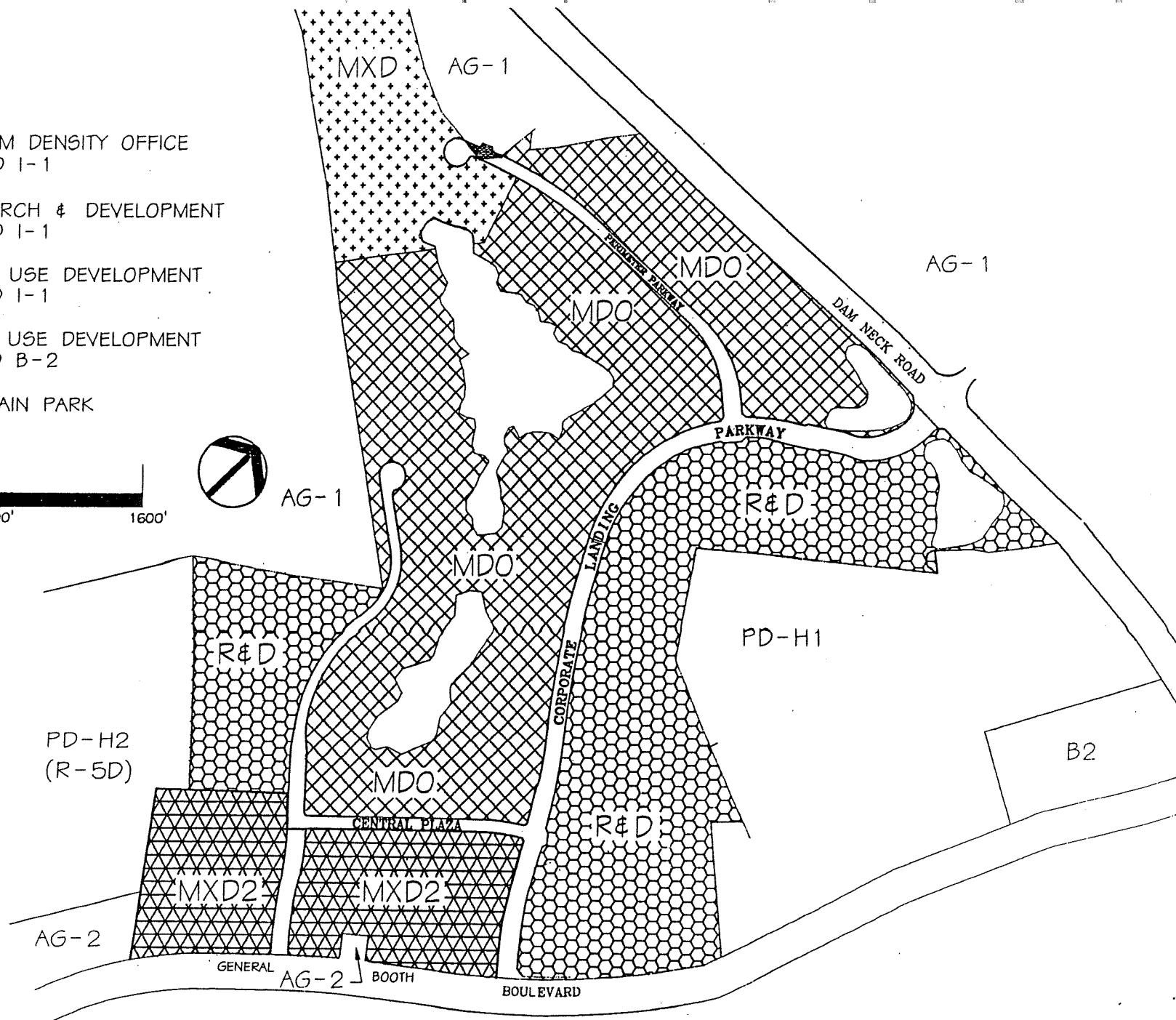
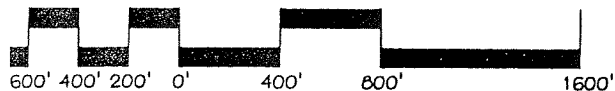
EXHIBIT C

MASTER LAND-USE PLAN

LAND USE

| | | |
|--|------|-------------------------------------|
|  | MDO | MEDIUM DENSITY OFFICE ZONED I-1 |
|  | R&D | RESEARCH & DEVELOPMENT ZONED I-1 |
|  | MXD | MIXED USE DEVELOPMENT ZONED I-1 |
|  | MXD2 | MIXED USE DEVELOPMENT ZONED B-2 |

FOUNTAIN PARK

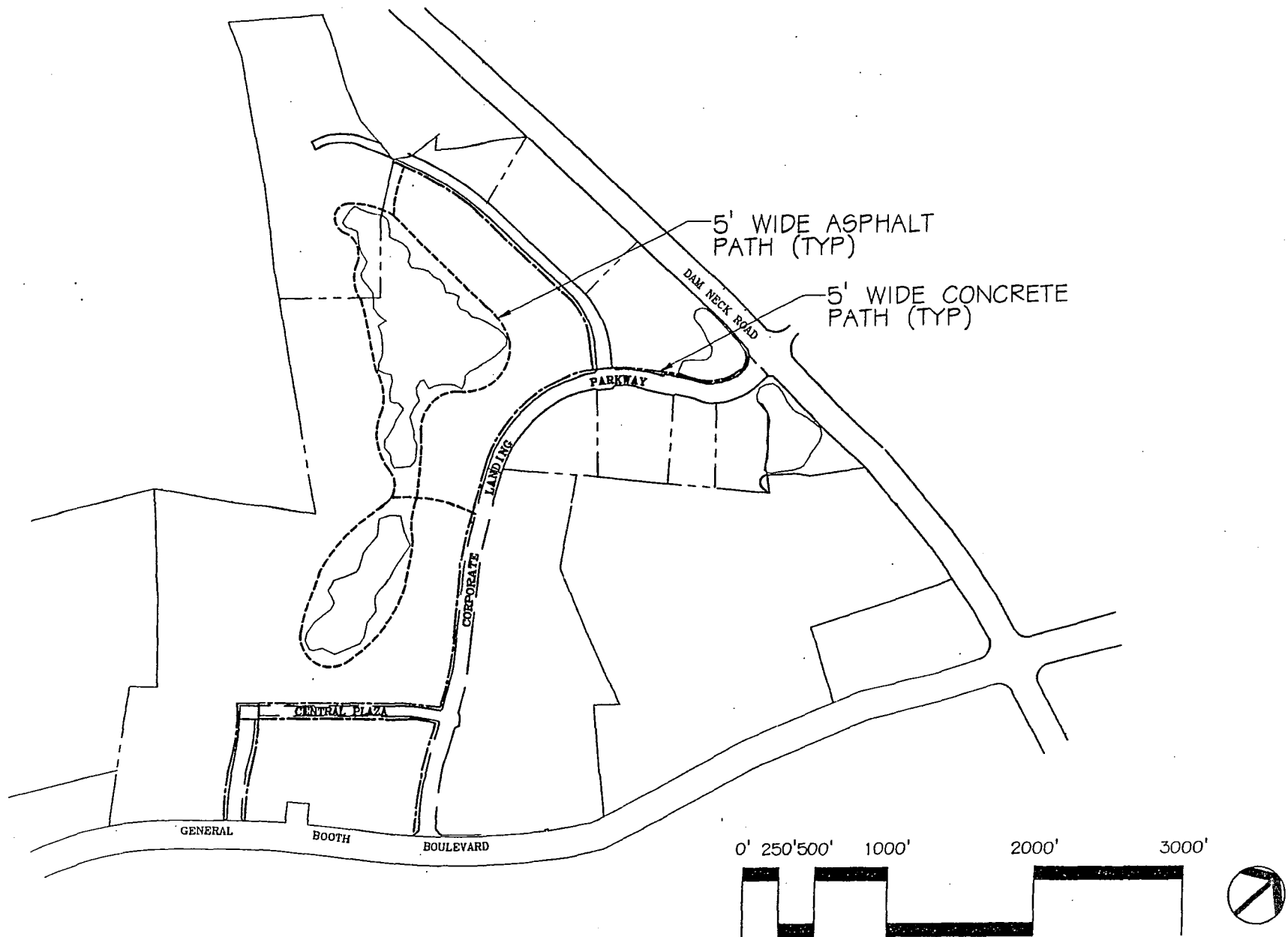


C

MASTER PLAN LAND USE/ZONING

EXHIBIT F 1

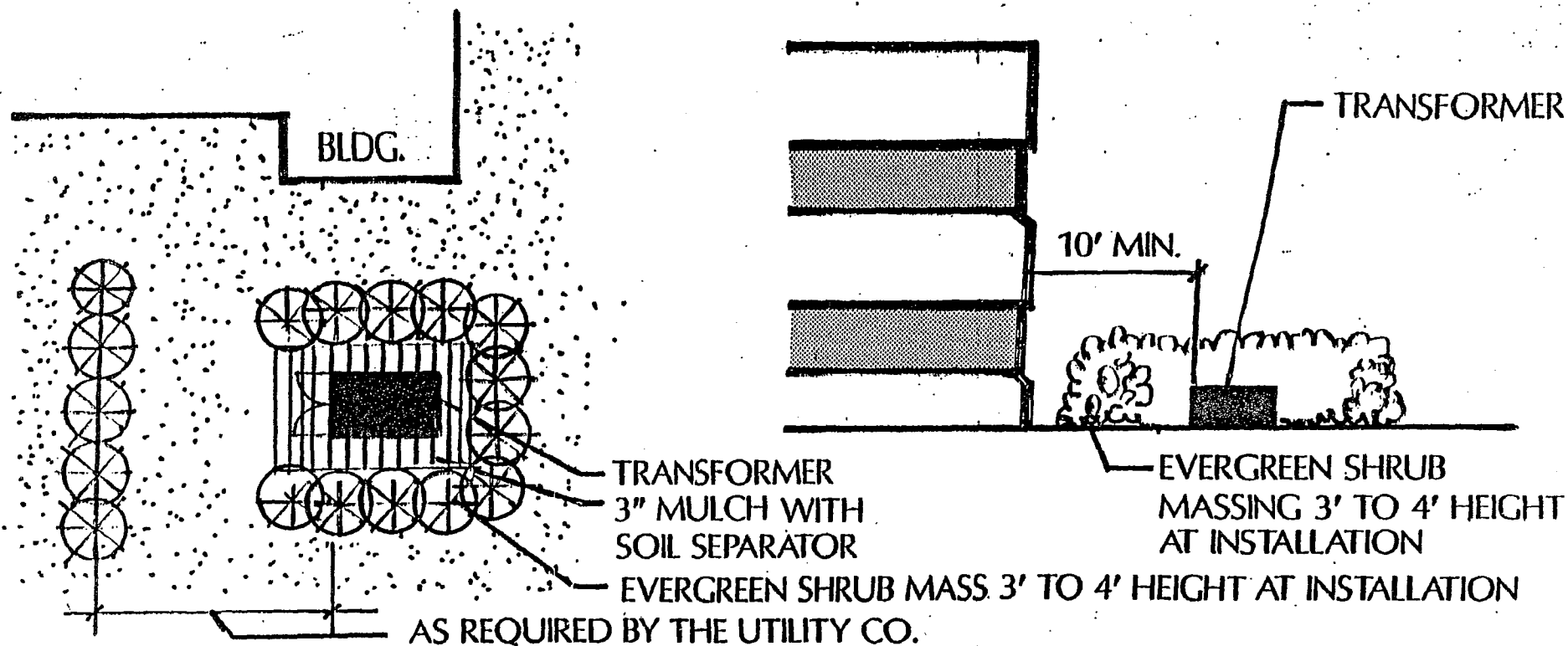
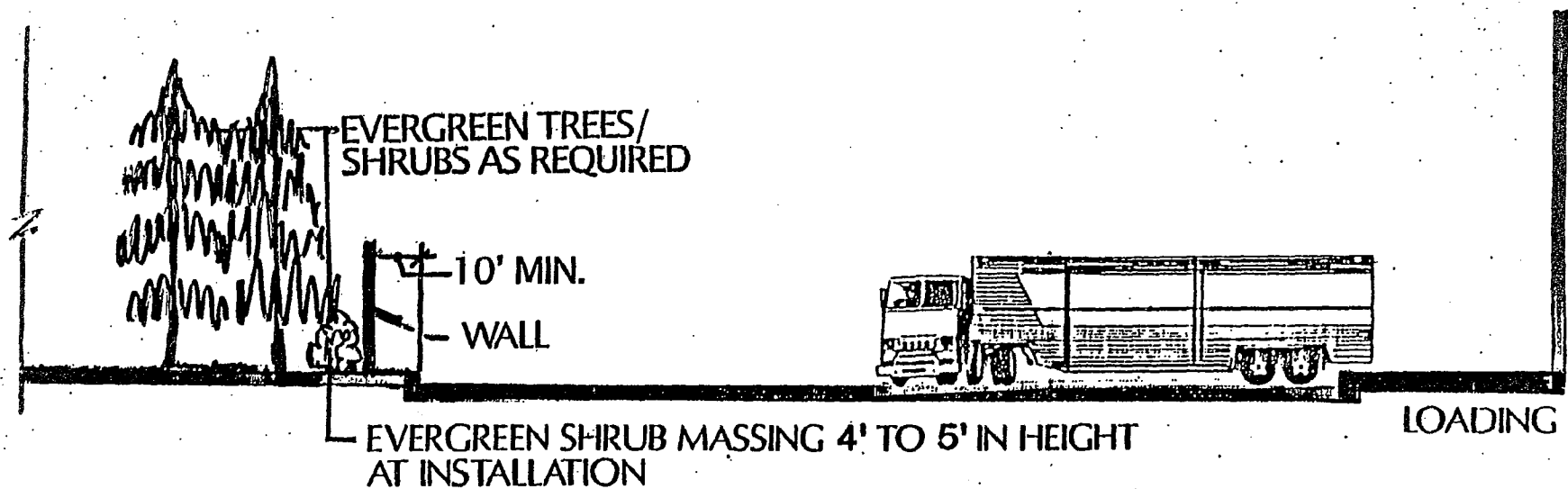
JOGGING TRIAL MASTER PLAN



F1 JOGGING TRAIL MASTER PLAN

EXHIBIT I

SCREENING FOR SITE UTILITIES AND LOADING AREAS

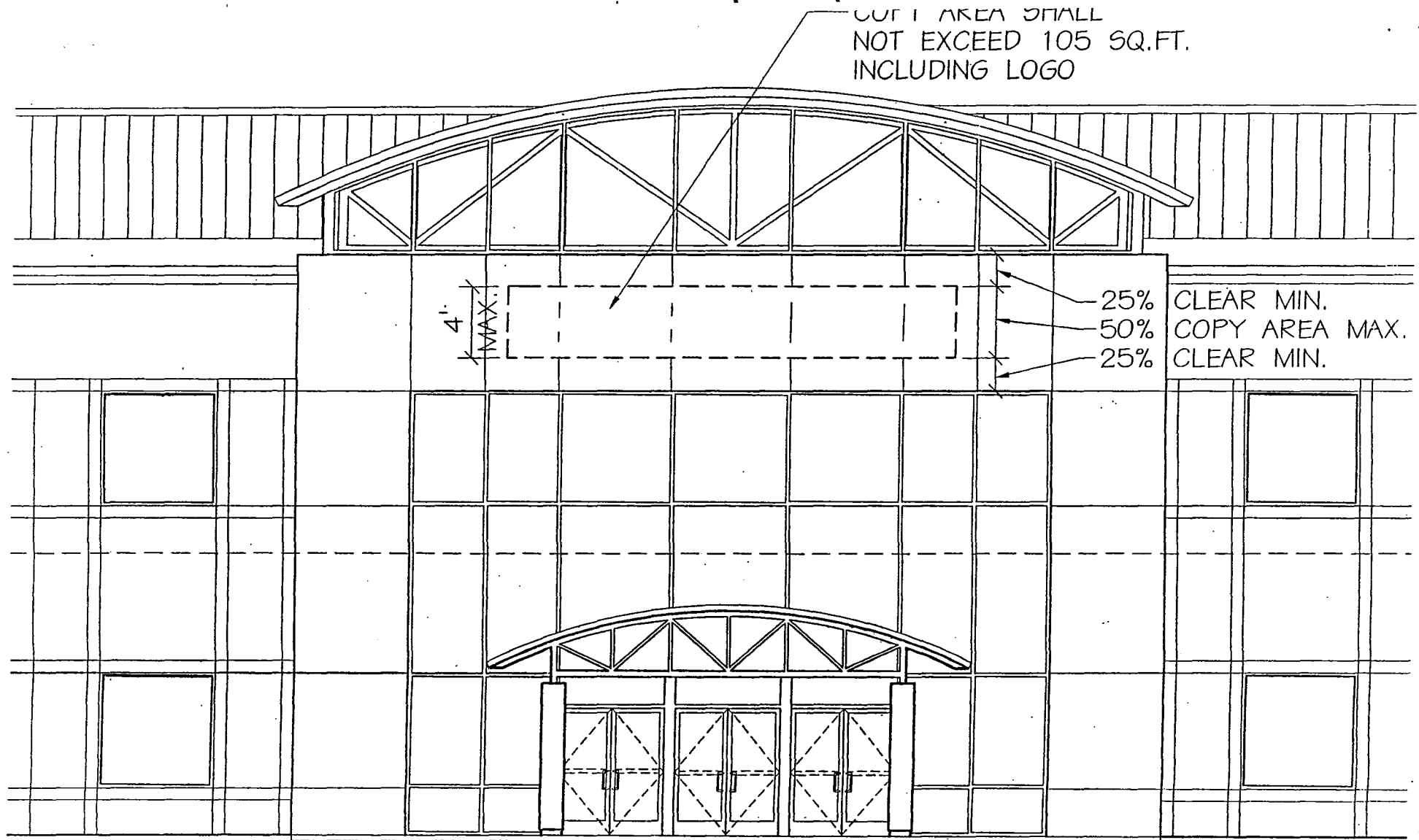


SCREENING FOR SITE UTILITIES AND LOADING AREAS

NOTE: SCREEN WALLS ARE REQUIRED FOR CERTAIN SITE ELEMENTS. SEE 3.01 ITEM C.

EXHIBIT Q1

SINGLE TENANT SIGN ON BUILDING



THE ABOVE DRAWINGS IS TO SERVE AS AN EXAMPLE TO ILLUSTRATE HOW A SINGLE TENANT NAME CAN BE PLACED ON THE BUILDING. THE TENANT SIGNAGE SYSTEMS SHALL ACCOMPANY THE SUBMITTAL OF THE CONSTRUCTION DOCUMENTS TO THE VBDA FOR APPROVAL. THIS WILL BE REQUIRED FOR EACH AND EVERY BUILDING.

Q₁

SINGLE TENANT ON BUILDING

SCALE: 1/8" = 1'-0"